

**MANASQUAN PLANNING BOARD MEETING AGENDA
CONDUCTED WITH ZOOM
JULY 05, 2022 7:00 PM – TUESDAY**

Join Zoom Meeting

<https://us06web.zoom.us/j/6652076223?pwd=WFZiUVcyQ0tqOHlrajFUa0dpRTc3Zz09>

OR

Tel – 1-646 876 9923 US (New York)

ID # 665 207 6223

Password 365 120

Please take notice that the Manasquan Planning Board will convene a remote meeting on July 05, 2022 7:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

1. Approval of Vouchers
2. Ferchak, Laura - 7 Meadow Avenue - Application #29-2021 - Request for Extension on Granted Variances

RESOLUTION

3. #25-2022 Lupinski - 13 1/2 Ocean Avenue - Block 157, Lot 4.03 - Application #03-2022

APPLICATION

4. Informal Presentation - 86 Main Street
- [5.](#) #16-2021 Tackett, Frank - 75 Beachfront/74 First Avenue - Block 165 Lot 30
- [6.](#) #07-2022 Lovely, Mary - 519 Perrine Blvd. - Block 145 Lot 1.04
- [7.](#) #08-2022 Ocean Bay Developers - 39 South Street - Block 23 Lot 7.02

OTHER BUSINESS

Comments from individual board members

ADJOURNMENT

March 1, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1480
Variance – Tackett
Block 165, Lot 30
75 Beachfront
R-4 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Grading Plan prepared by Ray Carpenter, PE, PP, of R.C. Associates Consulting, Inc., dated November 11, 2020.
2. Architectural Floorplan and Elevations prepared by Christopher Rice, RA, of Rice and Brown Associates, dated January 21, 2021.

The property is located in the R-4 Single-Family Residential Zone with frontage on First Avenue and the Beachfront. With this application, the applicant proposes to construct a raised first floor deck on the beachfront dwelling on the east side of the existing dwelling. The application is deemed complete as of March 1, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-4 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:
 - a. A minimum front yard setback of 15 feet is required, whereas a setback of 2 feet is proposed to the beachfront (16.1 feet exists).
 - b. A minimum side yard setback of 5 feet is required, whereas a setback of 3.9 feet exists and is proposed (south).
 - c. A minimum side yard setback of 5 feet is required, whereas a setback of 3.1 feet exists and is proposed (north).



Re: Boro File No. MSPB-R1480
Variance – Tackett
Block 165, Lot 30

March 1, 2021
Sheet 2

3. The following non-conformities exist and will not be modified as part of this application:

Lot 30

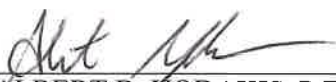
- a. A maximum building coverage 35% is permitted, whereas a building coverage of 46.8% exists.
- b. A minimum lot frontage of 30 feet is required, whereas a frontage of 28 feet exists.

First Avenue Dwelling

- c. A minimum front yard setback of 10 feet is required, whereas a setback of 8 feet exists.
 - d. A minimum side yard setback of 5 feet is required, whereas a setback of 3.9 feet exists (south).
 - e. A minimum side yard setback of 5 feet is required, whereas a setback of 3.1 feet exists (north).
4. The proposed deck will be located at the same elevation as the existing first floor covered porch.
5. The applicant should clarify if pavers will be extended to the proposed steps from the new deck.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
MANASQUAN PLANNING BOARD
ENGINEER

ADY:jy

cc: George McGill, esq., Planning Board Attorney
R.C. Associates, Inc.
2517 Route 35, Bldg 'P', Suite 101, Manasquan, NJ 08736
Chris Rice, RA
Rice & Brown Architects, 544 Washington Boulevard, Sea Girt, NJ 08750
Francis Tackett
4 Victorian Lane, Manalapan, NJ 07726

APPLICATION TO THE PLANNING BOARD

Applicant's Name FRANK TACKETT

Applicant's Address 75 BEACHFRONT MANASQUAN

Telephone Number (Home and Cell) 732-261-2675

Property Location 75 BEACHFRONT MANASQUAN
Block: 165 **Lot** 30

Type of Application Non permitted use
Bulk Variance, Non-Permitted Use – Conditional Use – Subdivision – Minor Subdivision – Major – Site Plan Approval

Date of Zoning Officer's Denial Letter _____
Zoning Permit Application Attached

Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

Is the Applicant the Landowner? YES

Does the Applicant own any adjoining land? No

Are the property Taxes paid to date? YES

Have there been any previous applications to the Planning Board concerning this property? YES
(Attach copies)

Have there been any previous applications to the Planning Board. If there were please attach copies.

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DIROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

February 4, 2021

Francis Tackett
4 Victorian Lane
Manalapan, NJ 07726

Re: Block: 165 Lot: 30 Zone: R-4 Flood Zone: VE BFE: 16ft. DFE: 17ft.
75 Beachfront - 74 First Avenue

Dear Sir:

Construct a raised deck in the front yard of the single family dwelling facing the beachfront.

Plot Plan prepared by Ray Carpenter on November 11, 2020. Conceptual plan prepared by Christopher Rice on January 21, 2021.

Application denied for the following reason(s):

Site:

Section 35-9.4 - Lot Frontage - 30ft. Required
28ft. Existing

“ - Building Coverage - 35% Permitted
46.8% Existing

75 Beachfront:

Section 35-9.4 - Front Setback - 15ft. Required
16.1ft. Existing
2ft. Proposed

“ - Side Setback (Left) - 5ft. Required
3.9ft. Existing and proposed

“ - Side Setback (Right) - 5ft. Required
3.1ft. Existing and proposed

74 First Avenue:

**Section 35-9.4 – Front Setback – 10ft. Required
8ft. Existing**

- “ - **Side Setback (Left) – 5ft. Required
3.9ft. Existing**

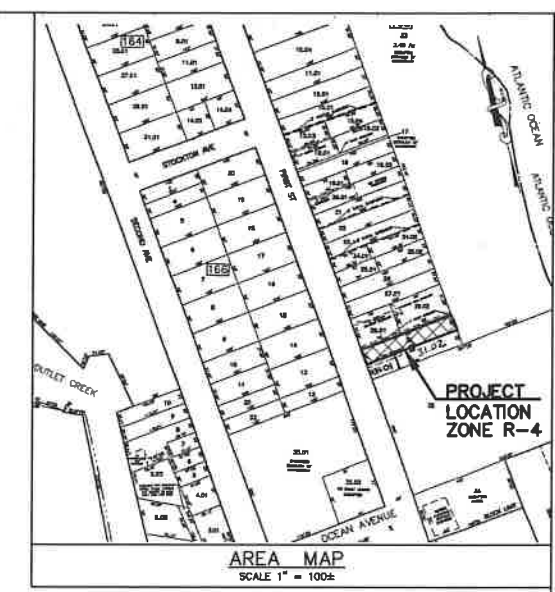
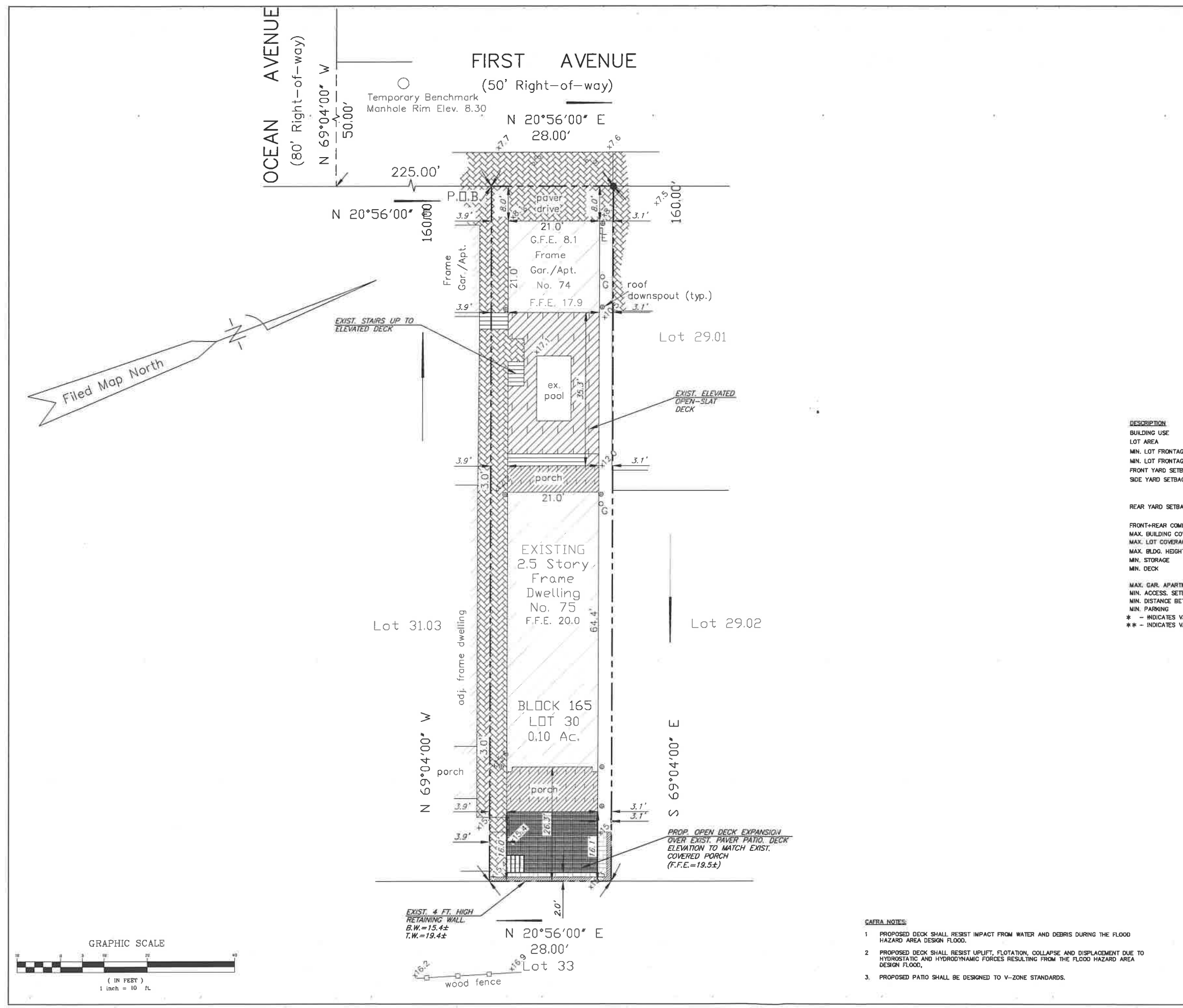
- “ - **Side Setback (Right) – 5ft. Required
3.1ft. Existing**

If you have any questions, please call me at 732- 223 – 0544 ext. 256.

Sincerely,



**Richard Furey
Zoning Officer**



GENERAL NOTES

PROPERTY IS KNOWN AS BLOCK 165 LOT 30 AS SHOWN ON SHEET 26 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

PROPERTY IS LOCATED IN THE R-4 RESIDENTIAL ZONE AND CONTAINS A TOTAL OF 0.1028± ACRES.

OWNER/APPLICANT: FRANCIS & DANIELLE TACKETT
2 VICTORIAN HILL,
MANALAPAN, NJ 07726

APPLICANT PROPOSES TO CONSTRUCT AN OPEN DECK

DESCRIPTION	ZONE R-4		
	REQUIRED/PERMITTED	PROPOSED	PROPOSED
BUILDING USE	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
LOT AREA	4,200 S.F.	4,480 S.F.	4,480 S.F.
MIN. LOT FRONTAGE (BEACHFRONT)	30 FT.	* 28 FT.	* 28 FT.
MIN. LOT FRONTAGE (FIRST AVE.)	30 FT.	* 28 FT.	* 28 FT.
FRONT YARD SETBACK (FIRST AVE.)	10 FT.	* 8 FT.	* 8 FT.
SIDE YARD SETBACK (GARAGE APT.)	5 & 5 FT.	* 3.9 & 3.1 FT.	* 3.9 & 3.1 FT.
(DWELLING)	5 & 5 FT.	* 3.9 & 3.1 FT.	* 3.9 & 3.1 FT.
(DECK)	5 & 5 FT.	* 3.9 & 3.1 FT.	* 3.9 & 3.1 FT.
REAR YARD SETBACK (BEACHFRONT)(DWELLING)	15 FT.	26.3 FT.	26.3 FT.
(OPEN DECK)	10 FT.	16.1 FT.	** 2 FT.
FRONT+REAR COMBINED SETBACK	30 FT.	34.3 FT.	34.3 FT.
MAX. BUILDING COVERAGE	35 % (1,568 S.F.)	* 39.38 % (1,764 S.F.)	* 39.38 % (1,764 S.F.)
MAX. LOT COVERAGE	50 % (2,100 S.F.)	42.05 % (1,884 S.F.)	42.05 % (1,884 S.F.)
MAX. BLDG. HEIGHT	33 FT. (2.5 STY.)	32.8 FT. (2.5 STY.)	32.8 FT. (2.5 STY.)
MIN. STORAGE	80 S.F.	> 80 S.F.	> 80 S.F.
MIN. DECK	80 S.F. or 10% 1st. FLOOR (132.3 S.F.)	651 S.F.	945 S.F.
MAX. GAR. APARTMENT HEIGHT	32 FT.	31.5 FT.	31.5 FT.
MIN. ACCESS, SETBACK	5/5 FT. (SIDE/REAR)	N/A	N/A
MIN. DISTANCE BETWEEN BUILDINGS	35 FT.	35.3 FT.	35.3 FT.
MIN. PARKING	2 SPACES	2 SPACES	2 SPACES

* - INDICATES VARIANCE PREVIOUSLY GRANTED BY PLANNING BOARD
** - INDICATES VARIANCE REQUIRED

EXIST./PROPOSED IMPERVIOUS COVERAGES

EXIST. DWELLING =	1,323 S.F.
EXIST. GARAGE APT =	441 S.F.
EXIST. SWIMMING POOL =	122 S.F.
TOTAL =	1,884 S.F.

- GRADES SHOWN BASED ON NAVD 88 DATUM.
- PROPERTY SHALL BE SERVICED BY EXISTING PUBLIC SEWER AND WATER SERVICES
- NO TREES WILL BE REMOVED FOR DEVELOPMENT

FIRM FLOOD ZONE 'AE' - ELEV 9.0 - COMMUNITY PANEL NUMBER 3402500456F, MONMOUTH COUNTY, N.J. - DATED SEPT. 25, 2009. (EXIST. GARAGE)

FIRM FLOOD ZONE 'VE' - ELEV 10.0 - COMMUNITY PANEL NUMBER 3402500456F, MONMOUTH COUNTY, N.J. - DATED SEPT. 25, 2009. (EXIST. HOUSE)

FEMA PRELIMINARY FIRM BASE FLOOD ELEVATION ZONE 'VE' - ELEV. 16, JANUARY 30, 2015 (ENTIRE PROPERTY)

TOPOGRAPHIC & BOUNDARY INFORMATION TAKEN FROM A SURVEY ENTITLED "PLAN OF FINAL AS-BUILT SURVEY, TAX BLOCK 165, LOT 30, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY ROBERT M. RAGAN, PROFESSIONAL LAND SURVEYOR, NJ LIC No. 38877, ON BEHALF OF RAGAN LAND SURVEYING P.C., DATED 11/9/17.

TACKETT GRADING PLAN
BLOCK 165 - LOT 30
74 FIRST AVE - 75 BEACHFRONT
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, N.J.

R.C. ASSOCIATES
Consulting, Inc.
Valley Park Professional Center
2517 Route 35 Building P Suite 101
Manasquan, New Jersey, 08736
Ph. 732-528-0141 • Fax 732-528-1080

RAY CARPENTER P.E.

C.A. #24GA28108800
DRN BY: WAM
DATE: 11/11/20
SCALE: AS SHOWN
JOB # 2015.173A
SHEET: 1 OF 1

N.J.P.E. Lic. No. 23223

- CAFRA NOTES:**
- PROPOSED DECK SHALL RESIST IMPACT FROM WATER AND DEBRIS DURING THE FLOOD HAZARD AREA DESIGN FLOOD.
 - PROPOSED DECK SHALL RESIST UPLIFT, FLOTATION, COLLAPSE AND DISPLACEMENT DUE TO HYDROSTATIC AND HYDRODYNAMIC FORCES RESULTING FROM THE FLOOD HAZARD AREA DESIGN FLOOD.
 - PROPOSED PATIO SHALL BE DESIGNED TO V-ZONE STANDARDS.



341 Washington Boulevard
So. Berk., New Jersey 08750

732.449.9055
www.shorearchitect.com

CHRISTOPHER RICE

N.J. LIC. NO. 14432
N.Y. LIC. NO. 026746

DUSTIN C. BROUIN

CO. LIC. NO. 402474

PROPOSED DECK ADDITION
TACKETT RESIDENCE
15 BEACHFRONT MANASQUAN, NJ
LOT: 30 BLOCK: 165

This and other drawings, photos and information hereby submitted, in connection with this application, are the property of Rice and Brown Architects, P.C. and shall remain the property of Rice and Brown Architects, P.C. and shall not be used for any other purpose without the written consent of Rice and Brown Architects, P.C.

REVISIONS:

COMM 1523

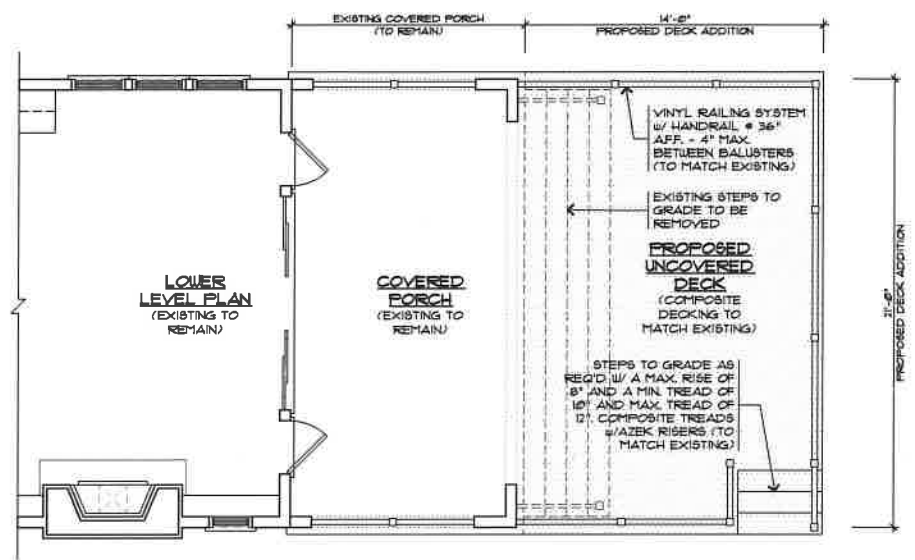
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DATE: 1/21/21

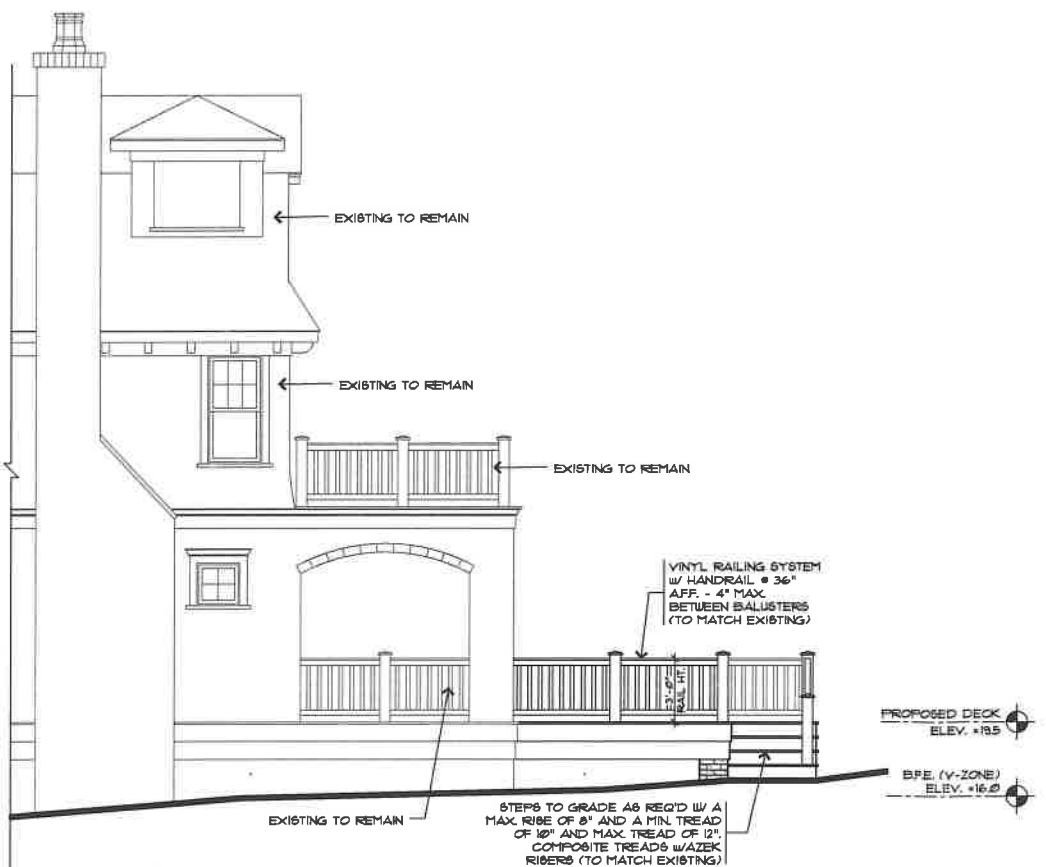


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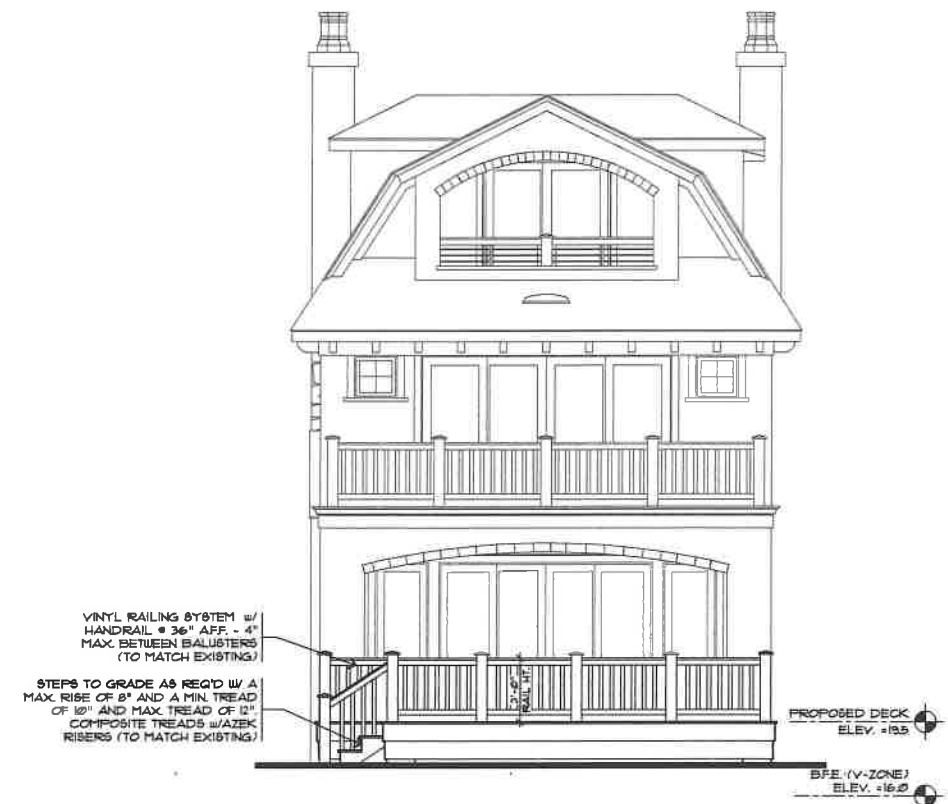
SHT. 1 OF 1



PROPOSED REAR DECK PLAN
SCALE: 1/4" = 1'-0"



PARTIAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



BOROUGH OF MANASQUAN ZONING PERMIT APPLICATION

RECEIVED JAN 29 2021

DATE RECEIVED _____

REQUIRED DOCUMENTATION:

- ACCURATE SURVEY OF THE PROPERTY
- AFFIDAVIT RE: ACCURACY OF SURVEY
- APPLICATION MUST BE FULLY COMPLETED & SIGNED
- SITE PLAN FOR THE PROPOSED PROJECT
- BUILDING OR CONCEPTUAL PLANS FOR THE PROPOSED PROJECT
- EMAIL MUST BE PROVIDED

FEE: \$ _____
 CASH/CHECK: _____
*4 of 4c form 1A 6w
 Please pay 07726*

BLOCK 165 LOT 30 ZONE R-4

EMAIL REQUIRED: fatcars@aol.com

WORK SITE ADDRESS: 75 Beachfront Manasquan NJ 08736

OWNER/APPLICANT Frank/Danielle Tackett EMAIL REQ'D fatcars@aol.com

ADDRESS 75 Beachfront Manasquan NJ 08736

TEL: HOME 732-921-0507 CELL 732-261-2675

PRESENT USE: SINGLE FAMILY MULTI FAMILY _____ COMMERCIAL _____ OTHER _____

EXISTING ACCESSORY BUILDINGS: DETACHED GARAGE SHED _____ POOL CABANA _____

DOG RUN _____ OTHER _____

PROPOSED USE: _____

DESCRIPTION OF PROPOSED WORK: Deck on beach side

PREVIOUS ZONING APPLICATION: YES NO DATE _____

BRIEF DESCRIPTION: Single family home - New conforming lot.

	LOT			
	REQUIRED	EXISTING	PROPOSED	VARIANCE
FRONTAGE:	<u>30</u>	<u>28</u>	<u>28</u>	
DEPTH:	<u>160</u>			
AREA:	<u>4200</u>	<u>4480</u>	<u>4480</u>	
WIDTH:	<u>30</u>	<u>28</u>	<u>28</u>	

	PRINCIPAL BUILDING			
	REQUIRED	EXISTING	PROPOSED	VARIANCE
FRONT SETBACK:	<u>10</u>	<u>8</u>	<u>8</u>	
REAR SETBACK:	<u>15</u>	<u>26.3</u>	<u>26.3</u>	
SIDE SETBACK:	<u>5</u>	<u>3.9</u>	<u>3.9</u>	
SIDE SETBACK:	<u>5</u>	<u>3.1</u>	<u>3.1</u>	<u>2.1</u>
BUILDING HEIGHT:	<u>33</u>	<u>32.8</u>	<u>32.8</u>	
NO. STORIES:	<u>2.5</u>	<u>2.5</u>	<u>2.5</u>	

ACCESSORY BUILDING OR STRUCTURE

	REQUIRED	EXISTING	PROPOSED	VARIANCE
FRONT SETBACK:	<u>10</u>	<u>8</u>	<u>8</u>	
REAR SETBACK:				
SIDE SETBACK:				
SIDE SETBACK:				
BUILDING HEIGHT:	<u>32</u>	<u>31.5</u>	<u>31.5</u>	
AREA:				
CURB CUT:				
PARKING:				

BUILDING COVERAGE: PERMITTED: 35 EXISTING: 39.38 PROPOSED: 39.38 VARIANCE: _____

LOT COVERAGE: PERMITTED: 50 EXISTING: 42.01 PROPOSED: 42.01 VARIANCE: _____

APPLICANT SIGNATURE Frank Sackett DATE _____

ZONING OFFICER: APPROVED/ DENIED _____ DATE _____

**Public Notification Letter for
NJDEP Application
Major Technical Modification to CAFRA General Permit
74 First Avenue/75 Beachfront
Block 165, Lot 30
Borough of Manasquan
Monmouth County, New Jersey**

This letter is to provide you with legal notification that an application for a Major Technical Modification of a Coastal General Permit will be submitted to the New Jersey Department of Environmental Protection, Division of Land Use Regulation for the site shown on the enclosed plan. A brief description of the proposed development follows: Applicant is proposing to modify the existing general permit to improve the emergency access from the house which would include the use of pavers on the eastern side of the house.

The complete permit application package can be reviewed at either the municipal clerk's office in the Borough of Manasquan or by appointment at the Department's Trenton office. The Department of Environmental Protection welcomes comments and any information that you may provide concerning the proposed development and site. Please submit your written comments within 15 days of receiving this letter to:

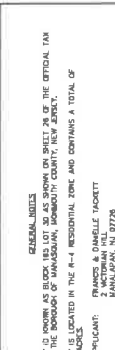
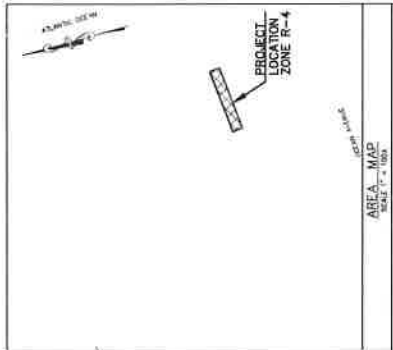
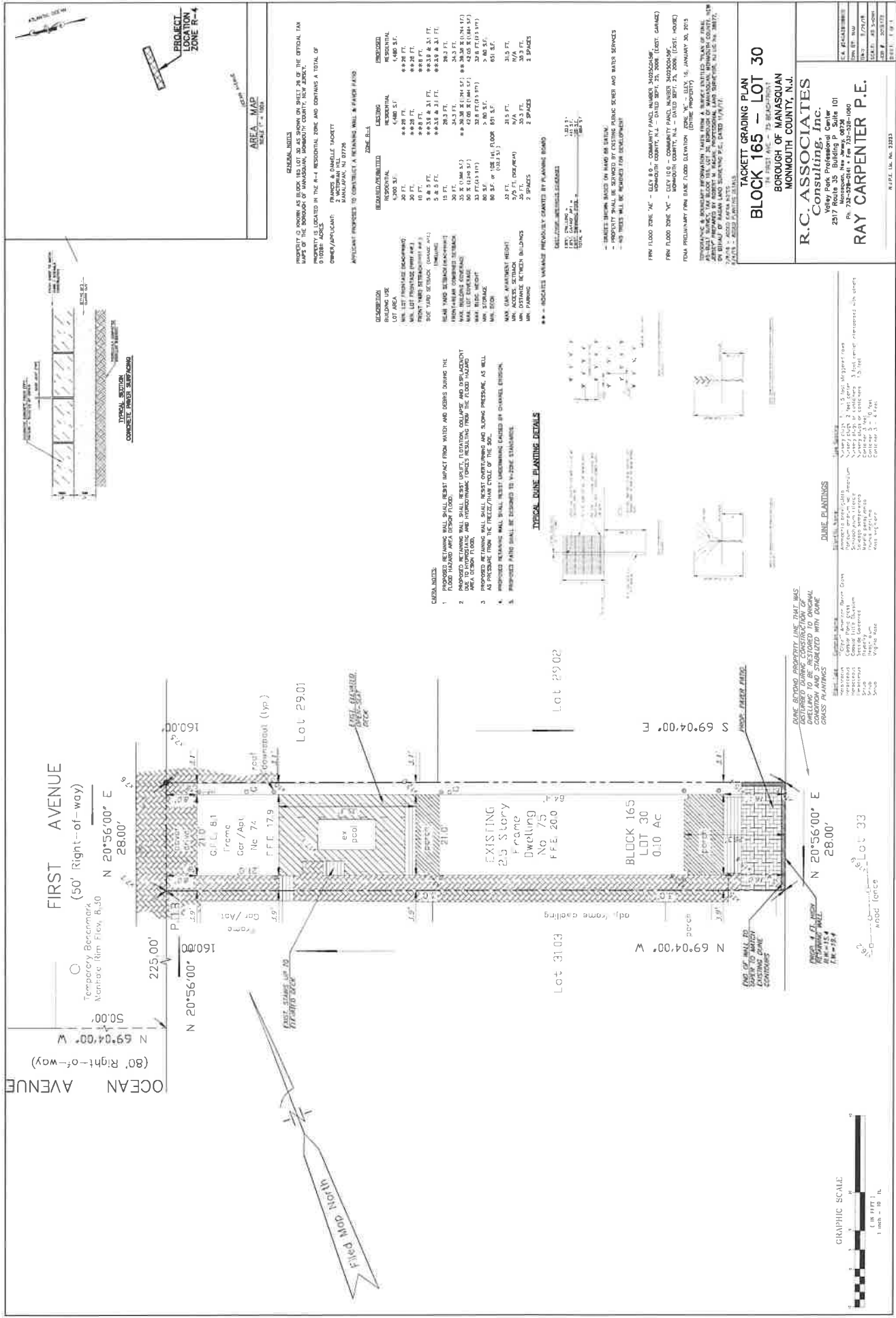
New Jersey Department of Environmental Protection
Division of Land Use Regulation
P.O. Box 420, Code 501-02A
Trenton, NJ 08625-0420
Attn: Manasquan Supervisor

Envirotactics, Inc.
1330 Laurel Ave.
Building 3
Sea Girt, NJ 08750

Phone 732.449.0077
Fax 732.449.5810

www.envirotactics.com

RECEIVED DEC 11 2019



GENERAL NOTES

- PROPOSED RETAINING WALL SHALL RESIST IMPACT FROM WAVES AND DEBRIS DURING THE FLOOD HAZARD AREA DESIGN FLOOD.
- PROPOSED RETAINING WALL SHALL RESIST UPLIFT, TILTING, COLLAPSE AND DISPLACEMENT DURING THE FLOOD HAZARD AREA DESIGN FLOOD.
- PROPOSED RETAINING WALL SHALL RESIST OVERTURNING AND SLIDING PRESSURE, AS WELL AS PRESSURE FROM THE FLOODING CYCLE OF THE SEA.
- PROPOSED RETAINING WALL SHALL RESIST DAMAGE CAUSED BY CHANNEL EROSION.
- PROPOSED RETAINING WALL SHALL BE DESIGNED TO 100-YEAR STORMS.

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DEVELOPER/OWNER/PLANNING BOARD

1. LOT AREA: 10,000 S.F.

2. TOTAL DEVELOPABLE AREA: 10,000 S.F.

3. TOTAL DEVELOPABLE AREA: 10,000 S.F.

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GENERAL NOTES

PROPERTY TO BE SHOWN AS BLOCK 165 LOT 30 AS SHOWN ON SHEET 28 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

OWNER/APPLICANT: FRANKS & DANIELLE THORNTON MANALAPAN, NJ 07729

APPLICANT REQUESTS TO CONSTRUCT A RETAINING WALL & FLOOD FENCE

DEVELOPER/OWNER/PLANNING BOARD

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**PLANNING BOARD APPLICATION
MANASQUAN, NEW JERSEY**

I. APPLICANT: Frank Tackett

Address: 4 Victorian Hill
Manalapan, NJ 07726

Phone: 732-261-2675

Property Address: 75 Beachfront/74 First Avenue
Block 165, Lot 30, Zone R-4
Flood Zone: VE; BFE: 16 ft
Manasquan, New Jersey 08736

II. TYPE OF APPLICATION: Bulk Variances

Site: Section 35-9.4

	REQUIRED	EXISTING	PROPOSED
Area of Lot	4,200 s.f.	4,480 s.f.	4,480 s.f.
Building Height-Stories	Beachfront: 33' - 2 ½' First Avenue: 32'	---	34' - 2 ½' ^{**} 31.5'
Percentage of Lot Coverage (Building)	35%	34.3%	40.7% ^{**}
Percentage of Lot Coverage (Imp)	50%	48.7%	43.5%
Min. Lot Frontage	30.0'	28.0' [*]	28.0' [*]
Beachfront/ First Avenue	--	--	Option B ^{**} / Option A ^{**}
Beachfront: Dormer Location	East & West	--	North and South Elevation ^{**}
Beachfront: Dormer Setback	2.0'	--	1.5ft ^{**}
Beachfront: Dormer Length	10.0'	--	13.5' ^{**}
First Avenue: Vertical Plane	17.5'	--	18.5' ^{**}
SETBACKS			
Front	Beachfront:15.0' First Avenue:10.0'	26.6' 4.58' [*]	26.6' 7.0 ^{**}

Side(North)	5.0'	2.6' *	3.1'**
Side (South)	5.0'	4.4 *	3.9'**
Rear	10.0'	---	---
Front & Rear Combined	30.0'	31.18'	35.6'

- ** Variance Required
- * Existing Condition

III. SITE INFORMATION:

Street Address: 75 Beachfront/74 First Avenue, Manasquan, NJ

Block 165, Lot 30

Zoning Districts: R-4

Flood Zone: VE; BFE: 16 ft

Present Use: Two Single Family Residential Structures

Proposed Use: Two Single Family Residential Structures

VI. ZONE REQUIREMENTS: R-4 Zone

Min. Lot Area: 4,200 sq ft

Min Lot Frontage: 30 ft

Front Yard Setback: 15 ft / 10 ft

Side Setback North: 5 ft

Side Setback South: 5 ft

Rear Setback: 10 ft

Max. Bldg. Height: 35 ft/32 ft

Max Stories: 2 ½

Max. Bldg. Coverage: 35%

Max. Lot Coverage: 50%

V. MISCELLANEOUS:


- 1. Is the Applicant the Landowner? Yes
- 2. Does the Applicant own any adjoining land? No
- 3. Are the property taxes paid to date? Yes
- 4. Have there been any previous applications to the Planning Board or Board of Adjustment concerning this property? Not to the Applicant's knowledge.
- 5. Are there any deed restrictions, easements or covenants affecting the property? See attached.

VI. COMMENT:

Applicant seeks to demolish all of the existing buildings and structures on the property and construct a new 2 ½ story single family dwelling fronting on the Beachfront and a two story garage apartment fronting on First Avenue per a survey prepared by William Fiore on May 20, 2015 and a site plan and conceptual building plans prepared by Christopher Rice on October 20, 2015.

The Applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter, if necessary.

12/24/15
Date



C. KEITH HENDERSON,
Attorney for Applicant

Issued by Truex Abstract, Inc.
AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

Commitment Number: TA-28168

**SCHEDULE B – SECTION II
EXCEPTIONS
CONTINUED**

12. Easement contained in Deed Book 1850 Page 13. Copy attached.

NOTE: The Loan Policy will insure that the improvements do not encroach on the Easement and that said Easement does not interfere with the use of the premises for residential purposes.

13. Ingress/Egress Easements as contained in OR Book 8572 Page 9874. Copy attached.

NOTE: The Loan Policy will insure that the improvements do not encroach on the Easement and that said Easement does not interfere with the use of the premises for residential purposes.

14. Subject to the results of an LLC Status Report versus SEAWATCH DUNES, LLC.

NOTE: We are obtaining this information.

NOTE: The mortgage insured herein is a valid first lien.

NOTE: The Loan Policy will insure against loss by reason of the gap period between the date of the Commitment for Title Insurance and the date the mortgage being insured herein is recorded in the Monmouth County Clerk's Office.

NOTE: In addition to the searches made in connection with this Commitment for Title Insurance, the purchasers have been searched in the records of the Monmouth County Clerk's Office for Judgments, Federal Liens, Recognizances, Reimbursement Agreements, and Institutional Liens for their respective statutory periods vs. the following:

<u>NAME</u>	<u>FROM</u>	<u>TO</u>
FRANK A. TACKETT	April 24, 1995	April 24, 2015
DANIELLE P. TACKETT	April 24, 1995	April 24, 2015

and show clear as of April 24, 2015.

NOTE: New Jersey Superior Court and United States District Court searches have been ordered vs. the aforesaid.

(continued)

...d for the uses and purposes therein expressed.

Bertha Seganos (L.S.)
Bertha Seganos
Notary Public of New Jersey
My Comm. Exp. 7/7/42

...and Recorded, March 17th, A.D.1941 at 2:00 P.M.

J.Russell Woolley, Clerk

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to

CHARLES J. SULLIVAN ET
ANNABELLE HIS UX

THIS INDENTURE made the Fifteenth day of March in the year
of our Lord One Thousand Nine Hundred and forty one.

THE MCKENNEY ET AL

BETWEEN CHARLES J. SULLIVAN AND ANNABELLE SULLIVAN, his
wife party of the first part, hereinafter known as the
Grantors;

AND ETHEL MCKENNEY, single and HELEN MCKENNEY, single, party of the second
hereinafter known as the Grantees;

in
the
and

WITNESSETH that in consideration of the sum of One (\$1.00) Dollar and
good and valuable consideration, the said grantors do grant, bargain, sell and convey, unto
the said grantees their heirs and assigns

All that certain tract or parcel of land and premises, hereinafter particularly
described, situate, lying and being in the Borough of Manasquan in the County of Monmouth
State of New Jersey.

will
nd
r
d

BEGINNING at a point on the beach front line distant twenty five feet
thereon by a course of North twenty degrees fifty-six minutes East from the
northerly line of the Manasquan Fishery, otherwise known as the "Woolley" tract,
measured from a point on the northerly line of said Manasquan Fishery, tract distant on a
course South sixty nine degrees four minutes East, four hundred ten feet from a stone monument
at the northwesterly corner of the property of the Coast Guard Station of the United States of
America; thence (1) north twenty degrees fifty six minutes East, twenty eight feet along the
aforesaid beach front line; thence (2) North sixty nine degrees four minutes West, one
hundred sixty feet; thence (3) south twenty degrees fifty six minutes West, twenty eight feet;
thence (4) south sixty nine degrees four minutes East, one hundred sixty feet to the point of
beginning.

THIS conveyance, is made subject to an easement of a common stairway used
by the owners of the within premises and the owners of the premises adjoining on the South.

TO HAVE AND TO HOLD said premises with the appurtenances, unto the said
grantees their heirs and assigns forever.

AND the said Charles J. Sullivan and Annabelle Sullivan, his wife for
themselves, their heirs and assigns, do

COVENANT:

1. That the title to said premises is vested in fee simple absolute in the
said Charles J. Sullivan and Annabelle Sullivan, his wife
2. That they have the right and authority to convey the said premises to the
said Ethel McKenney, single and Helen McKenney, single.

DB 1850-13
3-17-41

4

- 3. That the grantees shall have peaceable and quiet possession of the said premises free from all encumbrances.
- 4. That the same are now free and clear of all encumbrances whatsoever.
- 5. That the grantors will execute such further assurances and conveyances of the said land as may be reasonably required.
- 6. That they will warrant and Defend the premises hereby conveyed against all persons lawfully claiming the same.

IN WITNESS WHEREOF the said grantors have hereunto set their hands and seals the day and year first above written.

Signed, Sealed and Delivered

Charles J. Sullivan (L.S.)
Charles J. Sullivan

in the presence of

Annabelle Sullivan (L.S.)
Annabelle Sullivan

Harry T. Davimos
Harry T. Davimos

\$5.00 I.R.U.S. Stamps Cancelled

STATE OF NEW JERSEY)
) SS
COUNTY OF ESSEX)

BE IT REMEMBERED that on this Fifteenth day of March in the year of our Lord One Thousand Nine Hundred and forty one, before me, the subscriber, a Master in Chancery of New Jersey, personally appeared Charles J. Sullivan and Annabelle Sullivan, his wife, who, I am satisfied, are the grantors mentioned in the within Instrument, to whom I first made known the contents thereof, and thereupon they acknowledged that, they signed, sealed and delivered the same as their voluntary act and deed, for the uses and purposes therein expressed.

Harry T. Davimos
Harry T. Davimos
A Master in Chancery of New Jersey

Received and Recorded, March 18th, A.D. 1941 at 9:00 A.M.

Comp'd by

J. Russell Woolley, Clerk

BENJAMIN B. PEARCE ET
ANNIE C. HIS UX
TO
PEARCE W. SHERMAN

)
)
)

THIS INDENTURE made the Fifth day of March in the year of our Lord One Thousand Nine Hundred and Forty one. BETWEEN BENJAMIN B. PEARCE AND ANNIE C. PEARCE, his wife of the Borough of Manasquan in the County of

Monmouth and State of New Jersey, of the First Part;

AND PEARCE W. SHERMAN, 1401 Main Street of the City of Asbury Park in the County of Monmouth and State of New Jersey, of the Second Part;

WITNESSETH that the said party of the First Part, for and in consideration of One Dollar and other valuable considerations lawful money of the United States of America, to them in hand well and truly paid by the said party of the Second Part, at or before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged and the said party of the First Part being therewith fully satisfied, contented and paid, have given, granted, bargained, sold, aliened, released, enfeoffed, conveyed and confirmed and by these presents, do give, grant, bargain, sell, alien, release, enfeoff, convey and confirm unto the said party of the Second Part, and to his heirs and assigns forever.

ALL those certain lots, tracts or parcels of land and premises, hereinafter particularly described, situate, lying and being in the Borough of Manasquan in the County of

COUNTY OF MONMOUTH	
CONSIDERATION	
RTF <u>EXEMPT</u> add RTF	
DATE <u>6-21-06</u> BY <u>[Signature]</u>	

PREPARED BY:

 C. KEITH HENDERSON, ESQ.

DEED

This Deed is made on June 19, 2006

BETWEEN

F. PETER HALAS & MARIELLYN D. HALAS,
residing at 410 Bell Place, Sea Girt, New Jersey 08750, referred to as the Grantor.

AND

F. PETER HALAS & MARIELLYN D. HALAS,
residing at 410 Bell Place, Sea Girt, New Jersey 08750, referred to as the Grantee.

Transfer of Ownership. The Grantor grants and conveys the property describe below to the Grantee. The transfer is made for good and valuable consideration of ONE DOLLAR (\$1.00), and is for the purpose of perfecting a Minor Subdivision pursuant to Resolution No. 14-2006

Tax Map Reference. (N.J.S.A. 46:15-1.1) Municipality of Manasquan, Block 165, Lot 31.03 (Proposed New Lots 31.03 & 30).

Property. The property consists of he land and all the buildings and structures on the land in the Borough of Manasquan, County of Monmouth and State of New Jersey New Lot 31.03 is more particularly described in Schedule A and New Lot 30 is more particularly described in Schedule B.

Purpose. The purpose of this Deed is to perfect a Minor Subdivision granted by the Planning Board of the Borough of Manasquan by Resolution No. 14-2006, dated June 13, 2006, and to create parking utility and ingress egress easements in accordance with the requirements of said Resolution. The subdivided parcels are depicted on a Minor Subdivision Plat prepared by Paul K. Lynch, N.J.P.L.S., No. 35855, dated February 22, 2006, and revised April 27, 2006, and attached hereto as Schedule B. The Chairman and Secretary of the Planning Board have affixed their signatures hereto in accordance with the requirements of N.J.S.A. 40:55D-47.

GRANT OF EASEMENTS

1. Pedestrian Access Easement

1.01 Description of Pedestrian Access Easement. The Pedestrian Access Easement shall consist of a strip of land of 4.80 ft in width and running from First Avenue to Boardwalk. The Easement is more specifically described by Metes and Bounds on Schedule C.

1.02 Rights of Access. The owners of New Lots 30 and 31.03 shall have the joint right of pedestrian access over and across the Access Easement to permit access to First.

DB 8572-9874
6-21-06

DESCRIPTION OF PROPERTY

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY KNOWN AND DESIGNATED AS PROPOSED LOT 31.03 BLOCK 165 AS SHOWN ON A CERTAIN MAP ENTITLED "MINOR SUBDIVISION FOR F. PETER HALAS & MARIELLYN HALAS SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY KNOWN AND DESIGNATED AS LOT 30 & 31.03 BLOCK 165 AS SHOWN ON THE TAX MAP OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY" MADE BY PAUL K. LYNCH LS WALL, N.J. DATED FEBRUARY 22, 2006, REVISED THRU APRIL 27, 2006. SAID LOT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE E ' LY LINE OF FIRST AVENUE(50' r.o.w.) DISTANT 200.00' ON A COURSE OF NORTH 20 DEGREES 56 MINUTES 00 SECONDS EAST FROM A PK/DISK FOUND AT THE INTERSECTION OF SAID LINE WITH THE N ' LY LINE OF OCEAN AVENUE(80' r.o.w.) EXTENDED AND RUNNING FROM SAID POINT OF BEGINNING; THENCE

- 1) NORTH 20 DEGREES 56 MINUTES 00 SECONDS EAST ALONG SAID LINE OF FIRST AVENUE A DISTANCE OF 25.00' TO A POINT IN THE S ' LY LINE OF TAX MAP LOT 30 BLOCK 165; THENCE
- 2) SOUTH 69 DEGREES 04 MINUTES 00 SECONDS EAST ALONG SAID LINE A DISTANCE OF 160.00' TO A POINT IN THE W ' LY LINE OF THE BEACHFRONT(TAX MAP LOT 33 BLOCK 165); THENCE
- 3) SOUTH 20 DEGREES 56 MINUTES 00 SECONDS WEST ALONG SAID LINE A DISTANCE OF 25.00' TO A POINT IN THE N ' LY LINE OF TAX MAP LOT 32.01 BLOCK 165; THENCE
- 4) NORTH 69 DEGREES 04 MINUTES 00 SECONDS WEST ALONG SAID LINE A DISTANCE OF 160.00' TO THE SAID POINT OF BEGINNING.

CONTAINING 4,000 S.F.

SCHEDULE A



PAUL K. LYNCH
N.J.P.L.S., 35855

DESCRIPTION OF PROPERTY


ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY KNOWN AND DESIGNATED AS PROPOSED LOT 30 BLOCK 165 AS SHOWN ON A CERTAIN MAP ENTITLED "MINOR SUBDIVISION FOR F. PETER HALAS & MARIELLYN HALAS SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY KNOWN AND DESIGNATED AS LOT 30 & 31.03 BLOCK 165 AS SHOWN ON THE TAX MAP OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY" MADE BY PAUL K. LYNCH LS WALL, N.J. DATED FEBRUARY 22, 2006, REVISED THRU APRIL 27, 2006. SAID LOT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE E ' LY LINE OF FIRST AVENUE(50' r.o.w.) DISTANT 225.00' ON A COURSE OF NORTH 20 DEGREES 56 MINUTES 00 SECONDS EAST FROM A PK/DISK FOUND AT THE INTERSECTION OF SAID LINE WITH THE N ' LY LINE OF OCEAN AVENUE(80' r.o.w.) EXTENDED AND RUNNING FROM SAID POINT OF BEGINNING; THENCE

- 1) NORTH 20 DEGREES 56 MINUTES 00 SECONDS EAST ALONG SAID LINE OF FIRST AVENUE A DISTANCE OF 28.00' TO A POINT IN THE S ' LY LINE OF TAX MAP LOT 29.01 BLOCK 165; THENCE
- 2) SOUTH 69 DEGREES 04 MINUTES 00 SECONDS EAST ALONG THE S ' LY LINE OF TAX MAP LOT 29.01 & 29.02 BLOCK 165 A DISTANCE OF 160.00' TO A POINT IN THE W ' LY LINE OF THE BEACHFRONT(TAX MAP LOT 33 BLOCK 165); THENCE
- 3) SOUTH 20 DEGREES 56 MINUTES 00 SECONDS WEST ALONG SAID LINE A DISTANCE OF 28.00' TO A POINT IN THE N ' LY LINE OF TAX MAP LOT 31.03 BLOCK 165; THENCE
- 4) NORTH 69 DEGREES 04 MINUTES 00 SECONDS WEST ALONG SAID LINE A DISTANCE OF 160.00' TO THE SAID POINT OF BEGINNING.

CONTAINING 4,480 S.F.

SCHEDULE B


PAUL K. LYNCH
N.J.P.L.S. 35855

DESCRIPTION OF INGRESS/EGRESS EASEMENT

ALL THAT CERTAIN TRACT OR PARCEL OF LAND SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY KNOWN AND DESIGNATED AS A PROPOSED 4.8' WIDE INGRESS/EGRESS EASEMENT AS SHOWN ON A CERTAIN MAP ENTITLED "MINOR SUBDIVISION FOR F. PETER HALAS & MARIELLYN HALAS SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY KNOWN AND DESIGNATED AS LOT 30 & 31.03 BLOCK 165 AS SHOWN ON THE TAX MAP OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY" MADE BY PAUL K. LYNCH LS WALL, N.J. DATED FEBRUARY 22, 2006, REVISED THRU APRIL 27, 2006. SAID EASEMENT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE E' LY LINE OF FIRST AVENUE(50' r.o.w.) DISTANT 23.19' ON A COURSE OF NORTH 20 DEGREES 56 MINUTES 00 SECONDS EAST FROM THE INTERSECTION OF SAID LINE WITH THE N' LY LINE OF TAX MAP LOT 32.01 BLOCK 165 AND RUNNING FROM SAID POINT OF BEGINNING; THENCE

- 1) NORTH 20 DEGREES 56 MINUTES 00 SECONDS EAST ALONG SAID LINE OF FIRST AVENUE A DISTANCE OF 4.80' TO A POINT; THENCE
- 2) SOUTH 68 DEGREES 48 MINUTES 40 SECONDS EAST A DISTANCE OF 160.00' TO A POINT IN THE W' LY LINE OF THE BEACHFRONT(TAX MAP LOT 33 BLOCK 165); THENCE
- 3) SOUTH 20 DEGREES 56 MINUTES 00 SECONDS WEST ALONG SAID LINE A DISTANCE OF 4.80' TO A POINT; THENCE
- 4) NORTH 68 DEGREES 48 MINUTES 40 SECONDS WEST A DISTANCE OF 160.00' TO THE SAID POINT OF BEGINNING.

CONTAINING 768 S.F.

SCHEDULE D


PAUL K. LYNCH
N.J.P.L.S. 35855

State of New Jersey
SELLER'S RESIDENCY CERTIFICATION/EXEMPTION
(C.55, P.L. 2004)

SELLER(S) INFORMATION (if Multiple Sellers, Each Seller Must Complete a Certification)

Name(s) F. Peter Halas
Current Resident Address:
Street: 410 Bell Place
City, Town, Post Office: Sea Girt State NJ Zip Code 08750

PROPERTY INFORMATION (Brief Property Description)

Block(s) 165 Lot(s) Lot 31.03 & Lot 30 Qualifier
Street Address: 76 First Avenue & 77 Beachfront & 74 First Avenue & 75 Beachfront
City, Town, Post Office: Manasquan State NJ Zip Code 08736
Seller's Percentage of Ownership 100% Consideration \$1.00 Closing Date June 15, 2006

SELLER ASSURANCES (Check the Appropriate Box)

- 1. I am a resident taxpayer of the State of New Jersey pursuant to N.J.S.A. 54A:1-1 et seq. and will file a resident gross income tax return and pay any applicable taxes on any gain or income from the disposition of this property.
- 2. The real property being sold or transferred is used exclusively as my principal residence within the meaning of section 121 of the federal Internal Revenue Code of 1986, 26 U.S.C. s. 121.
- 3. I am a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
- 4. Seller, transferor or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
- 5. Seller is not individual, estate or trust and as such not required to make an estimated payment pursuant to N.J.S.A.54A:1-1 et seq.
- 6. The total consideration for the property is \$1,000 or less and as such, the seller is not required to make an estimated payment pursuant to N.J.S.A. 54A:5-1-1 et seq..

SELLER(S) DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein could be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete.

Date 6-19-06

(P.H.) F. Peter Halas
Signature (Seller) Please Indicate if Power of Attorney or Attorney in Fact

Date

Signature (Seller) Please indicate if Power of Attorney or Attorney in Fact

State of New Jersey
SELLER'S RESIDENCY CERTIFICATION/EXEMPTION
(C.55, P.L. 2004)

SELLER(S) INFORMATION (if Multiple Sellers, Each Seller Must Complete a Certification)

Name(s) Mariellyn D. Halas
Current Resident Address:
Street: 410 Bell Place
City, Town, Post Office: Sea Girt State NJ Zip Code 08750

PROPERTY INFORMATION (Brief Property Description)

Block(s) 165 Lot(s) Lot 31.03 & Lot 30 Qualifier
Street Address: 76 First Avenue & 77 Beachfront & 74 First Avenue & 75 Beachfront
City, Town, Post Office: Manasquan State NJ Zip Code 08736
Seller's Percentage of Ownership 100% Consideration \$1.00 Closing Date June 15, 2006

SELLER ASSURANCES (Check the Appropriate Box)

- 1. I am a resident taxpayer of the State of New Jersey pursuant to N.J.S.A. 54A:1-1 et seq. and will file a resident gross income tax return and pay any applicable taxes on any gain or income from the disposition of this property.
- 2. The real property being sold or transferred is used exclusively as my principal residence within the meaning of section 121 of the federal Internal Revenue Code of 1986, 26 U.S.C. s. 121.
- 3. I am a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
- 4. Seller, transferor or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
- 5. Seller is not individual, estate or trust and as such not required to make an estimated payment pursuant to N.J.S.A.54A:1-1 et seq.
- 6. The total consideration for the property is \$1,000 or less and as such, the seller is not required to make an estimated payment pursuant to N.J.S.A. 54A:5-1-1 et seq..

SELLER(S) DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein could be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete.

Date 6-19-06
Signature (Seller) Mariellyn D. Halas
Signature (Seller) Please indicate if Power of Attorney or Attorney in Fact
Date _____
Signature (Seller) Please indicate if Power of Attorney or Attorney in Fact

RTF-1 (rev. 1/2004)

STATE OF NEW JERSEY

AFFIDAVIT OF CONSIDERATION

(Chapter 49, P.L.1968, as amended by Chapter 176, P.L. 1975; Chapter 225, P.L. 1985; Chapter 113, P.L. 2003)
To be recorded with deed pursuant to Chapter 49, P.L. 1968, as amended by Chapter 308, P.L. 1991 (N.J.S.A. 46:15-5 et seq.)
BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM.

STATE OF NEW JERSEY
COUNTY OF MONMOUTH

ss.

FOR RECORDER'S USE ONLY
Consideration \$
Realty Transfer Fee \$ EXEMPT
Date 6-21-06 By [Signature]

*Use symbol "C" to indicate fee is exclusively for county use.

(1) PARTY OR LEGAL REPRESENTATIVE (See instructions # 3, 4. & 5)

Deponent, F. PETER HALAS, being duly sworn according to law upon his/her oath
deposes and says that he/she the owner of
real property identified as Block 165, Lots 31.03 & 30
also know as 76 First Avenue & 77 Beachfront & 74 First Avenue & 75 Beachfront
Manasquan, Monmouth County and annexed hereto.

(2) CONSIDERATION (See Instruction # 6)

\$1.00 ONE DOLLAR

(3) FULL EXEMPTION FROM FEE (See Instruction # 7)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by Chapter. 49, P.L. 1968, and amended by
Chapter 113, P.L. 2003, for the following reason(s): More reference to exemption symbol is not sufficient. Explain in detail.
For consideration of less than \$1.00. -

(4) PARTIAL EXEMPTION FROM FEE

(See Instructions 8 and 9.)

NOTE: All boxes below apply to grantor(s) only. ALL BOXES IN
APPROPRIATE CATEGORY MUST BE CHECKED. Failure to do so will
void claim for partial exemption.

Deponent claims that this deed transaction is exempt from the increased portion of the Realty Transfer Fee imposed by Chapter 176, P.L. 1975, as
amended by Chapter 113, P.L. 2003 for the following reason(s):

- A. SENIOR CITIZEN Grantor(s) [] 62 yr. of age or over. *
B. /BLIND Grantor(s) [] legally blind or; *
DISABLED PERSON Grantor(s) [] permanently and totally disabled
(See Instruction #8 for A or B) [] Receiving disability payments
[] Not gainfully employed*

Senior citizens, blind or disabled persons must also meet all of the following criteria.
[] Owned and occupied by grantor(s) at time of sale. [] Resident of the State of New Jersey
[] One or two-family residential premises. [] Owners as joint tenants must all qualify.

*IN THE CASE OF HUSBAND AND WIFE ONLY ONE GRANTOR NEEDS TO QUALIFY IF OWNED AS TENANTS BY THE ENTIRETY.

- C. LOW AND MODERATE INCOME HOUSING (See Instruction #8)
[] Affordable according to HUD standards. [] Reserved for occupancy.
[] Meets income requirements of region. [] Subject to resale controls.

- D. NEW CONSTRUCTION (See Instruction #9)
[] Entirely new improvement. [] Not previously occupied.
[] Not previously used for any purpose.

Deponent makes this Affidavit to induce the County Clerk or Register of Deeds to record the deed and accept the fee submitted herewith in
accordance with provisions of Chapter. 49, P.L. 1968, as amended by Chapter 113, P.L. 2003.

Subscribed and Sworn to before me
this 19
day of June, 2006

[Signature of Barbara Helmstetter]

BARBARA HELMSTETTER

BARBARA HELMSTETTER
A Notary Public of New Jersey
My Commission Expires 9-29-08

[Signature of F. Peter Halas]

Signature of Deponent
F. Peter Halas

410 Bell Place, Sea Girt, NJ 08750
Address of Deponent

[Signature of F. Peter Halas]

Name of Grantor
F. Peter Halas

410 Bell Place, Sea Girt, NJ 08750
Address of Grantor at Time of Sale

FOR OFFICIAL USE ONLY
Instrument Number _____ County _____
Deed Number _____ Book _____ Page _____
Deed Dated _____ Date Recorded _____

The Director, Division of Taxation in the Department of the Treasury has prescribed this form, as required by law.
This form may not be altered or amended without approval of the Director.

STATE OF NEW JERSEY

AFFIDAVIT OF CONSIDERATION

(Chapter 49, P.L.1968, as amended by Chapter 176, P.L. 1975; Chapter 225, P.L. 1985; Chapter 113, P.L. 2003)
To be recorded with deed pursuant to Chapter 49, P.L. 1968, as amended by Chapter 308, P.L. 1991 (N.J.S.A. 46:15-5 et seq.)
BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM.

STATE OF NEW JERSEY
COUNTY OF MONMOUTH

FOR RECORDER'S USE ONLY
Consideration \$
Realty Transfer Fee \$ EXEMPT
Date 6/24/08 By [Signature]

(1) PARTY OR LEGAL REPRESENTATIVE (See instructions # 3, 4, & 5)

Deponent, MARIELLYN D. HALAS, being duly sworn according to law upon his/her oath deposes and says that he/she the owner of real property identified as Block 165, Lots 31.03 & 30 also know as 76 First Avenue & 77 Beachfront & 74 First Avenue & 75 Beachfront Manasquan, Monmouth County and annexed hereto.

(2) CONSIDERATION (See Instruction # 6)

\$1.00 ONE DOLLAR

(3) FULL EXEMPTION FROM FEE (See Instruction # 7)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by Chapter. 49, P.L. 1968, and amended by Chapter 113, P.L. 2003, for the following reason(s): More reference to exemption symbol is not sufficient. Explain in detail. For consideration of less than \$1.00.

(4) PARTIAL EXEMPTION FROM FEE (See Instructions 8 and 9)

NOTE: All boxes below apply to grantor(s) only. ALL BOXES IN APPROPRIATE CATEGORY MUST BE CHECKED. Failure to do so will void claim for partial exemption.

Deponent claims that this deed transaction is exempt from the increased portion of the Realty Transfer Fee imposed by Chapter 176, P.L. 1975, as amended by Chapter 113, P.L. 2003 for the following reason(s):

- A. SENIOR CITIZEN Grantor(s) [] 62 yr. of age or over. *
B. /BLIND Grantor(s) [] legally blind or; *
/DISABLED PERSON Grantor(s) [] permanently and totally disabled
(See Instruction #8 for A or B) [] Receiving disability payments
[] Not gainfully employed*

Senior citizens, blind or disabled persons must also meet all of the following criteria.
[] Owned and occupied by grantor(s) at time of sale. [] Resident of the State of New Jersey
[] One or two-family residential premises. [] Owners as joint tenants must all qualify.

*IN THE CASE OF HUSBAND AND WIFE ONLY ONE GRANTOR NEEDS TO QUALIFY IF OWNED AS TENANTS BY THE ENTIRETY.

- C. LOW AND MODERATE INCOME HOUSING (See Instruction #8)
[] Affordable according to HUD standards. [] Reserved for occupancy.
[] Meets income requirements of region. [] Subject to resale controls.

- D. NEW CONSTRUCTION (See Instruction #9)
[] Entirely new improvement. [] Not previously occupied.
[] Not previously used for any purpose.

Deponent makes this Affidavit to induce the County Clerk or Register of Deeds to record the deed and accept the fee submitted herewith in accordance with provisions of Chapter. 49, P.L. 1968, as amended by Chapter 113, P.L. 2003.

Subscribed and Sworn to before me this 19 day of June, 2006

[Signature] Signature of Deponent
Mariellyn D. Halas

[Signature] Name of Grantor
Mariellyn D. Halas

[Signature]

BARBARA HELMSTETTER

BARBARA HELMSTETTER
A Notary Public of New Jersey
My Commission Expires 9-24-08

410 Bell Place, Sea Girt, NJ 08750
Address of Deponent

410 Bell Place, Sea Girt, NJ 08750
Address of Grantor at Time of Sale

FOR OFFICIAL USE ONLY
Instrument Number _____ County _____
Deed Number _____ Book _____ Page _____
Deed Dated _____ Date Recorded _____

The Director, Division of Taxation in the Department of the Treasury has underscored this form, as required by law.

1.03 Repairs. The owners of New Lots 30 and 31.03 will be jointly responsible for maintenance and repairs.

2. General Provisions for Easement.

2.01 Agreement Binding on Heirs, Successors and Assigns. This Agreement shall be binding upon the heirs, successors, and assigns of the parties.

2.02 New Jersey Law. This Agreement shall be governed by the laws of the State of New Jersey.

2.03 Easements to Run with the Land. All rights, title and privileges herein granted, including the benefits and burdens, shall run with the land and shall inure to the benefit of the parties hereto, their respective heirs, executors, administrators, successors, assigns and legal representatives.

Signatures. The Grantors have hereunto set their hands and seals the date and year first above written.

Signed, Sealed and Delivered
in the presence of


F. PETER HALAS





MARIELLYN D. HALAS

STATE OF NEW JERSEY:

ss.

COUNTY OF MONMOUTH:

BE IT REMEMBERED, that on June 19, 2006, before me the subscriber, a Notary Public of New Jersey, personally appeared F. PETER HALAS, who I am satisfied are the person named in and who executed the within instrument, and thereupon he acknowledged that he signed, sealed and delivered the same as he act and deed, for the uses and purposes therein expressed, and that the full and actual consideration paid or to be paid for the transfer of the title to realty evidenced by the within deed, as such consideration is defined in P.L. 1968, C.49, Sec.1©, is \$1.00.


Notary Public

BARBARA HELMSTETTER
A Notary Public of New Jersey
My Commission Expires 9-29-08

STATE OF NEW JERSEY:

ss.

COUNTY OF MONMOUTH:

BE IT REMEMBERED, that on June 19, 2006, before me the subscriber, a Notary Public of New Jersey, personally appeared MARIELLYN D. HAL. AS, who I am satisfied are the person named in and who executed the within instrument, and thereupon he acknowledged that he signed, sealed and delivered the same as he act and deed, for the uses and purposes therein expressed, and that the full and actual consideration paid or to be paid for the transfer of the title to realty evidenced by the within deed, as such consideration is defined in P.L. 1968, C.49, Sec.10, is \$1.00.


Notary Public

BARBARA HELMSTETTER
A Notary Public of New Jersey
My Commission Expires 9-29-08

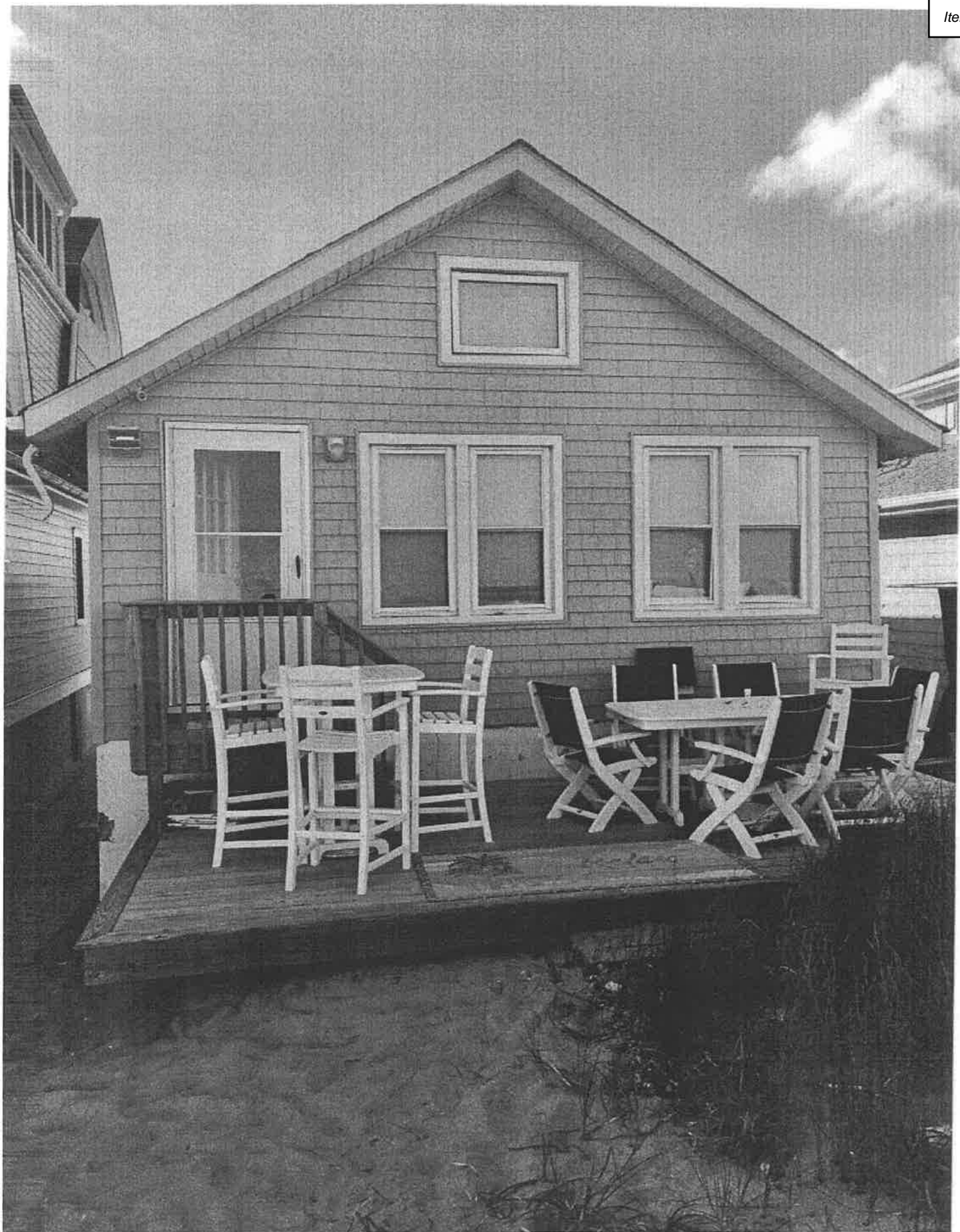
WE HEREBY CERTIFY pursuant to N.J.S.A. 40:55D-47 that the subdivision of the premises set forth herein was approved as a Minor Subdivision by the Planning Board of the Borough of Manasquan on June 13, 2006, by Resolution No. 14-2006, and subject to the terms and conditions contained in said Resolution.

BOROUGH OF MANASQUAN
PLANNING BOARD

By: 
JOHN BURKE, Chairman

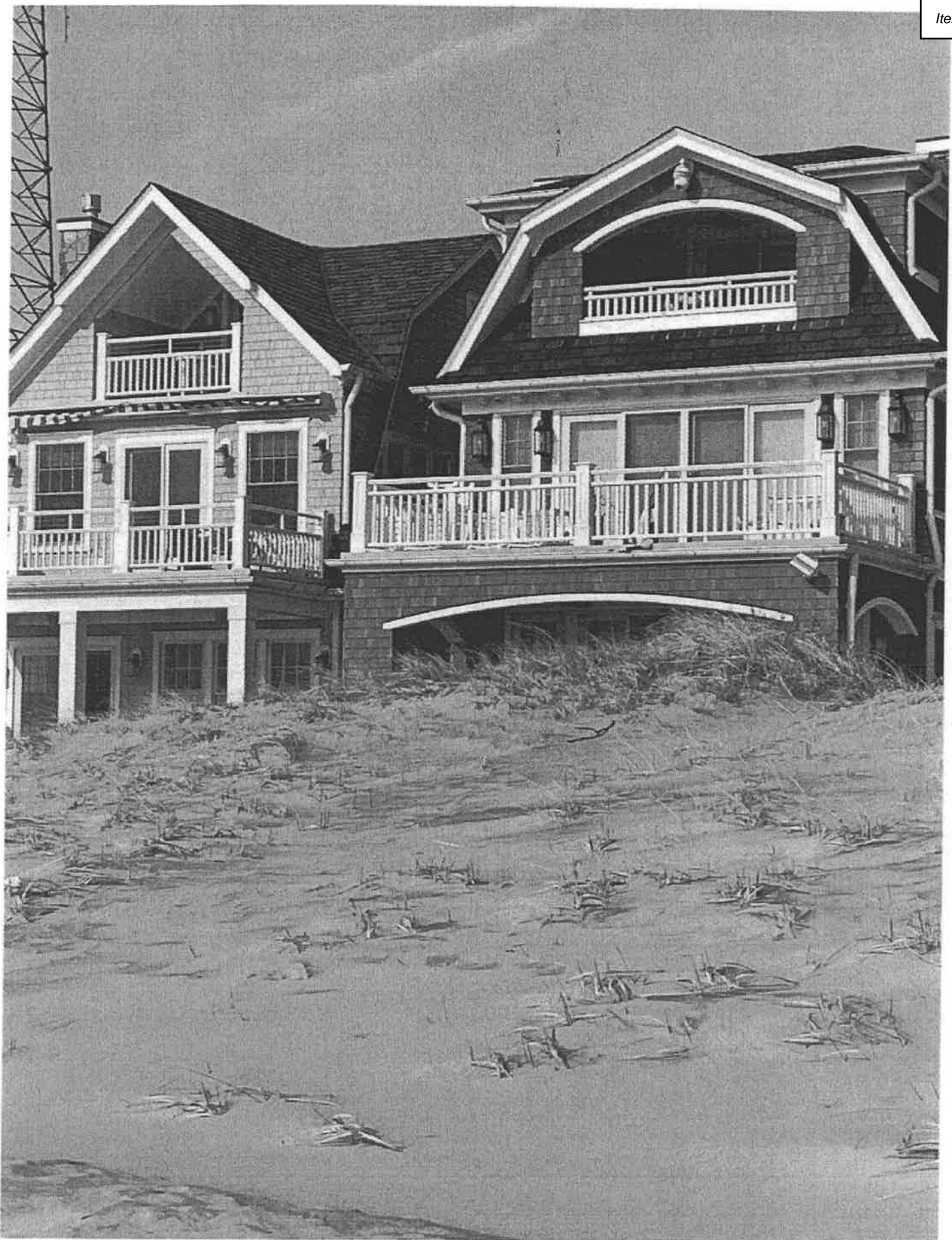
By: 
MARY SALERNO, Secretary

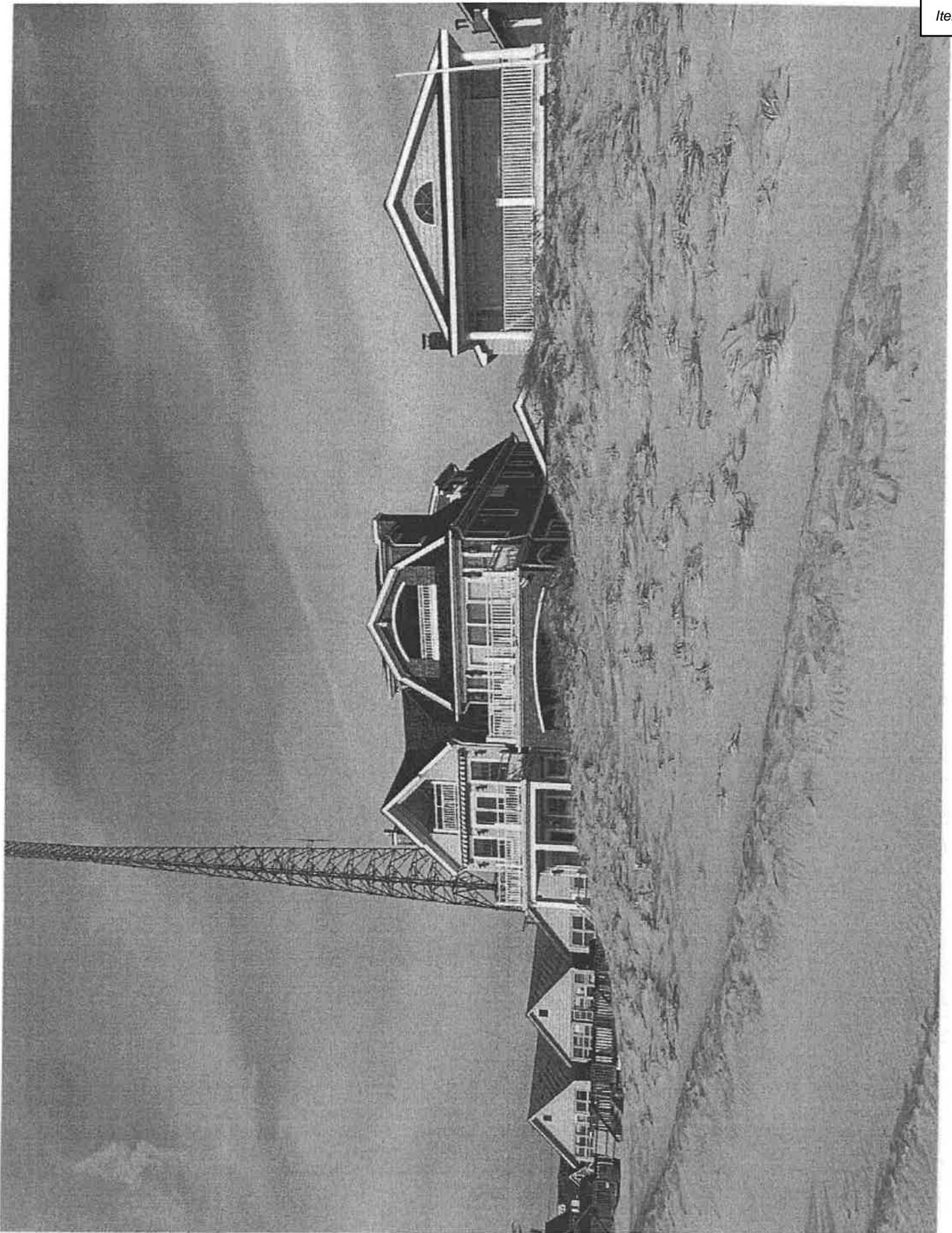
RECORD AND RETURN TO:
Account #082
C. KEITH HENDERSON, ESQ.
52 Abe Voorhees Drive
Manasquan, New Jersey 08736











From: Turner, Kara
Subject: RE: Tackett NOV - Dune 1327-16-0001.1 CZM 190001
Date: December 26, 2019 at 12:36 PM
To: Patrick Lyman
Cc: Danielle Tackett, Hanf, John



Hi Patrick,

I have the modification for this site, based on my review of the rules this does not appear to qualify for a modification. Since the applicant is proposing new impacts to a special area (ie dune), it would require a new permit in accordance with NJAC 7:7-27.5(f). As you know this area is already deed restricted for the dune, the applicant would have to request a formal lifting, and go through a lengthy process, with a public hearing, demonstrating that it is in public interest to lift the deed. All lifting requests are to be addressed to our Director and the Commissioner has the final decision on if one is approved or not. Please note that the Division cannot issue a permit in a deed restricted area.

The original permit called the dune at the eastern façade of the dwelling. It is going to be difficult to receive approval to remove the dune on site for the construction of a patio and retaining wall. They could build an elevated deck which would not be regulated. At this time I would recommend withdrawing the modification, they can request a refund of fees if they choose to pursue a non-regulated activity.

If you have any questions or want to discuss this further let me know.

Sincerely,

Kara

Kara Turner
Environmental Specialist 2
Bureau of Coastal Regulation
Division of Land Use Regulation
New Jersey Department of Environmental Protection
Phone: (609) 633-2289
Fax: (609) 292-5399

<https://www.nj.gov/dep/landuse/>



State of New Jersey

Department of Environmental Protection
Bureau of Coastal and Land Use Compliance and Enforcement
Toms River Office

1510 Hooper Avenue, Suite 140
Toms River, New Jersey 08753
Telephone: (732) 255-0787 Fax: (732) 255-0877

PHILIP D. MURPHY
Governor

SHEILA Y. OLIVER
Lt. Governor

CATHERINE R. MCCABE
Commissioner

January 22, 2020

Frank & Danielle Tackett
4 Victorian Trail
Manalapan, New Jersey 07726

Re: Resolution and Case Closure
Block 165, Lot 30;
Manasquan Borough, Monmouth County
EA ID #: PEA170001 - 1327-16-0001.1

Dear Mr. & Mrs. Tackett:

On January 14, 2020, a Representative of the Bureau of Coastal and Land Use Compliance and Enforcement conducted an inspection of the above referenced site. The purpose of the inspection was to assess the outcome of the restoration performed at the Department's request. The inspection revealed that the restoration work has been completed as required by removal of the paver patio.

You have satisfied the requirements contained in the Department's October 13, 2017 & June 22, 2018 Notices of Violation. As a result, the violations are resolved, and this matter has been closed.

Please be advised that any future disturbance or alteration of this area may constitute a regulated activity and require a permit from the Department. In addition, the Department reserves the right to take enforcement action should a regulated activity occur on the site without the necessary approvals.

Should you have any questions regarding this matter, please contact Mr. John J. Hanf Jr., Environmental Specialist III, at the telephone number or address at the top of this correspondence.

Sincerely,

Michele Kropilak, Region Supervisor
Bureau of Coastal and Land Use Compliance and Enforcement

c: Borough of Manasquan, Construction & Code Enforcement Officials



State of New Jersey

PHILIP D. MURPHY
Governor

DEPARTMENT OF ENVIRONMENTAL PROTECTION

SHAWN M. LATOURETTE
Commissioner

SHEILA Y. OLIVER
Lt. Governor

Watershed & Land Management
Mail Code 501-02A
P.O. Box 420
Trenton, New Jersey 08625-0420
www.nj.gov/dep/landuse

Frank & Danielle Tackett
4 Victorian Hill
Manalapan, NJ 07726

RE: Project Description: CAFRA Exemption
File and Activity No.: 1327-16-0001.1 CAF210001
Applicant: Frank & Danielle Tackett
Project: Deck
Block(s) and Lot(s): [165, 30]
Municipality: Manasquan Borough; County: Monmouth

Dear Mr. and Mrs. Tackett:

This letter is in response to your request for confirmation that the construction of a raised open deck on the above-referenced property is exempt from the Coastal Area Facility Review Act (CAFRA), N.J.S.A. 13:9-1 (et. seq.). In support of your request the following survey was submitted: "PROPOSED DECK ADDITION TACKETT RESIDENCE 75 BEACHFRONT MANASQUAN, NJ LOT: 30 BLOCK: 165" dated July 19, 2021, last revised January 10, 2022, and prepared by Rice and Brown Architects.

As shown on the above referenced plan, the project consists of the construction of a raised open deck which does not result in the grading, excavation or filling of a beach or dune. It has, therefore, been determined that the proposed project qualifies for an Exemption pursuant to N.J.A.C. 7:7-2.2(c)5. **Be advised that no disturbance to the dune is authorized.**

This letter does not relieve the applicant of the responsibility of obtaining any other required State, Federal or local permits or approvals as required by law. This determination is based on the information submitted in accordance with existing regulations. This determination shall be considered null and void if the submitted information is incorrect, or if site conditions or regulations change.

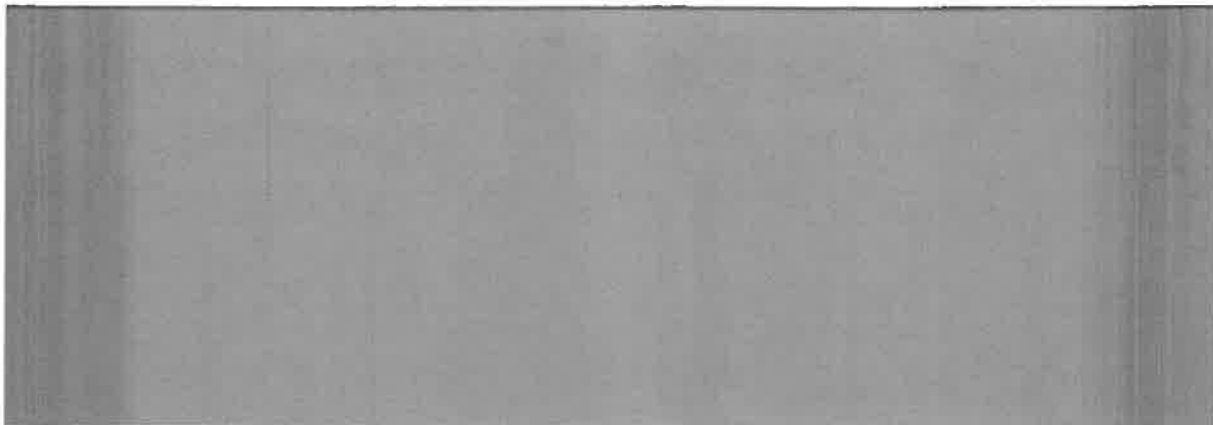
If you have any questions regarding this letter, please contact Kara Turner by email at Kara.Turner@dep.nj.gov or by phone at (609)633-7205. Please reference the Division's file number in all communication.

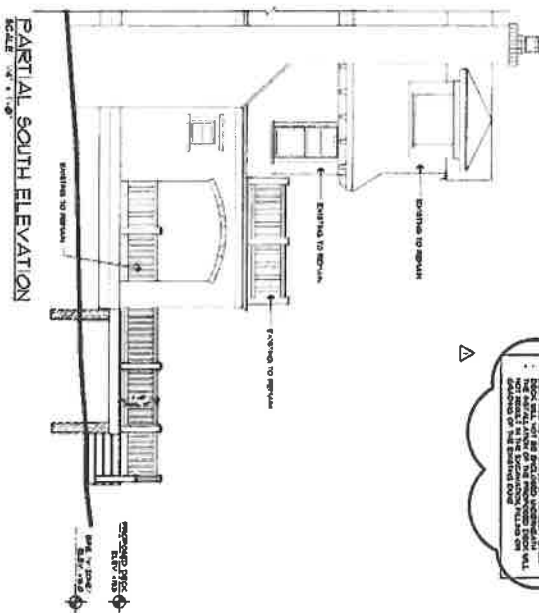
Sincerely,

Joanne B. Davis
Digitally signed by
Joanne B. Davis
Date: 2022.03.01
10:14:52 -05'00'

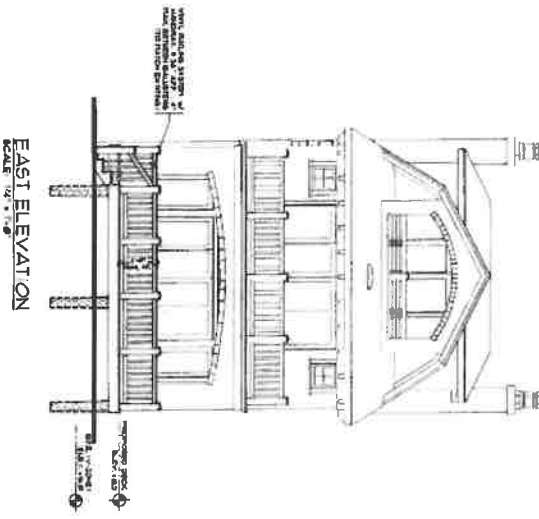
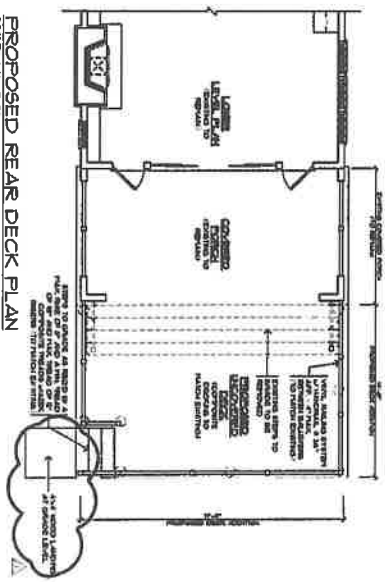
Joanne B. Davis, Supervisor
Division of Land Resource Protection

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PROPOSED REAR DECK PLAN
SCALE 1/4" = 1'-0"



	<p>PROPOSED DECK ADDITION TACKETT RESIDENCE 15 BEACHFRONT MANASQUAN, NJ LOT: 30 BLOCK: 163</p>	<p>CO. LIC. NO. 448844</p>
		<p>CONTRACTOR: RICE M.L. LIC. NO. 1443 M.P. LIC. NO. 88748 OWNER: C. BROWN</p>
<p>A-1</p>	<p>DATE: 1/18/11</p>	<p>COMP: 813 DRAWN BY: BFD</p>

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFO _____

APR 18 2022

April 14, 2022

DPW _____ CONST _____
PD _____ OTHER _____

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1860
Variance – Lovely
Block 145, Lot 1.04
519 Perrine Boulevard
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Survey of Property, prepared by Walter Partington, PLS, dated June 6, 1986.
2. Architectural Floor Plans, Elevations, prepared by Brian Collis, RA., of Brian Collis Architecture, dated February 21, 2022.

The property is located in the R-2 Single-Family Residential Zone with frontage on Perrine Boulevard and Euclid Avenue. With this application, the applicant proposes to construct a second story dormer on the existing detached garage, a cupola, and additional widows and skylights. This application is deemed complete on April 14, 2022.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variance is required as part of this application:
 - a. A maximum building height of 15 feet is permitted for the accessory structure, whereas a height of 16 feet exists and is proposed to the ridgeline. The building height to the top of the proposed cupola is approximately 19 feet 9 inches and approximately 23 feet to the top of the weathervane.
3. The following non-conformities exist on Lot 1.04 and are not proposed to be modified as part of this application:
 - a. A minimum lot frontage of 50 feet is required, whereas a frontage of 46.05 feet exists on Euclid Avenue.


Re: Boro File No. MSPB-R1860
Variance – Lovely
Block 145, Lot 1.04

April 14, 2022
Sheet 2

- b. A minimum front yard setback of 25 feet is required, whereas a setback of 24.82 feet exists.
- c. A minimum side yard setback of 15 feet is required, whereas a setback of 5.3 feet exists.
4. The current base flood elevation for the property is 10 feet.
5. It does not appear there are any proposed grading changes to the property.
6. It appears that the minimum two conforming parking spaces are provided in the garage and driveway.
7. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed addition does not increase the existing building footprint by more than 500 square feet.
8. No trees will be removed as part of this application.
9. Any curb and sidewalk must be replaced along Perrine Boulevard as necessary.
10. All necessary building permits must be obtained prior to construction.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Brian Collis, RA
128 John Street, Brick, NJ 08724
Mary Lovely
519 Perrine Boulevard, Manasquan, NJ 08736

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: Mary Lovely

*Applicant's Address: 519 Perrine Blvd

*Telephone Number: Home: _____ Cell: 973-270-6176

*e-mail Address: mlovely0504@gmail.com

*Property Location: 519 Perrine Blvd

*Block: 145 Lot: 1.04

*Type of Application: Bulk Variance

Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval

*Date of Zoning Officer's Denial Letter: March 30, 2022

Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? Yes

*Does the Applicant own any adjoining land? Yes, Lot 2.04

*Are the property taxes paid to date? Yes, last paid Feb 03, 2022

*Have there been any previous applications to the Planning Board concerning this property? No
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this
property? No

(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this
application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent

Date

06/2021

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official



March 30, 2022

Mary Lovely
519 Perrine Blvd.
Manasquan, NJ 08736

Re: Block: 145 Lot: 1.04 Zone: R-2 Flood Zone: AE BFE: 10ft. DFE: 11ft.

Dear Ms. Lovely:

On this date we reviewed your application for the following project.

Construct a dormer on the existing detached garage.

Survey prepared by Walter Partington on June 6, 1986. Conceptual plan prepared by Brian Collis on February 21, 2022.

Application denied for the following reason(s):

Section 35-5.2b – Accessory Building (Garage) – Building Height – 15ft. Permitted
16ft. Existing and proposed

Section 35-9.4 - Lot Frontage – 50ft. Required
46ft. Existing

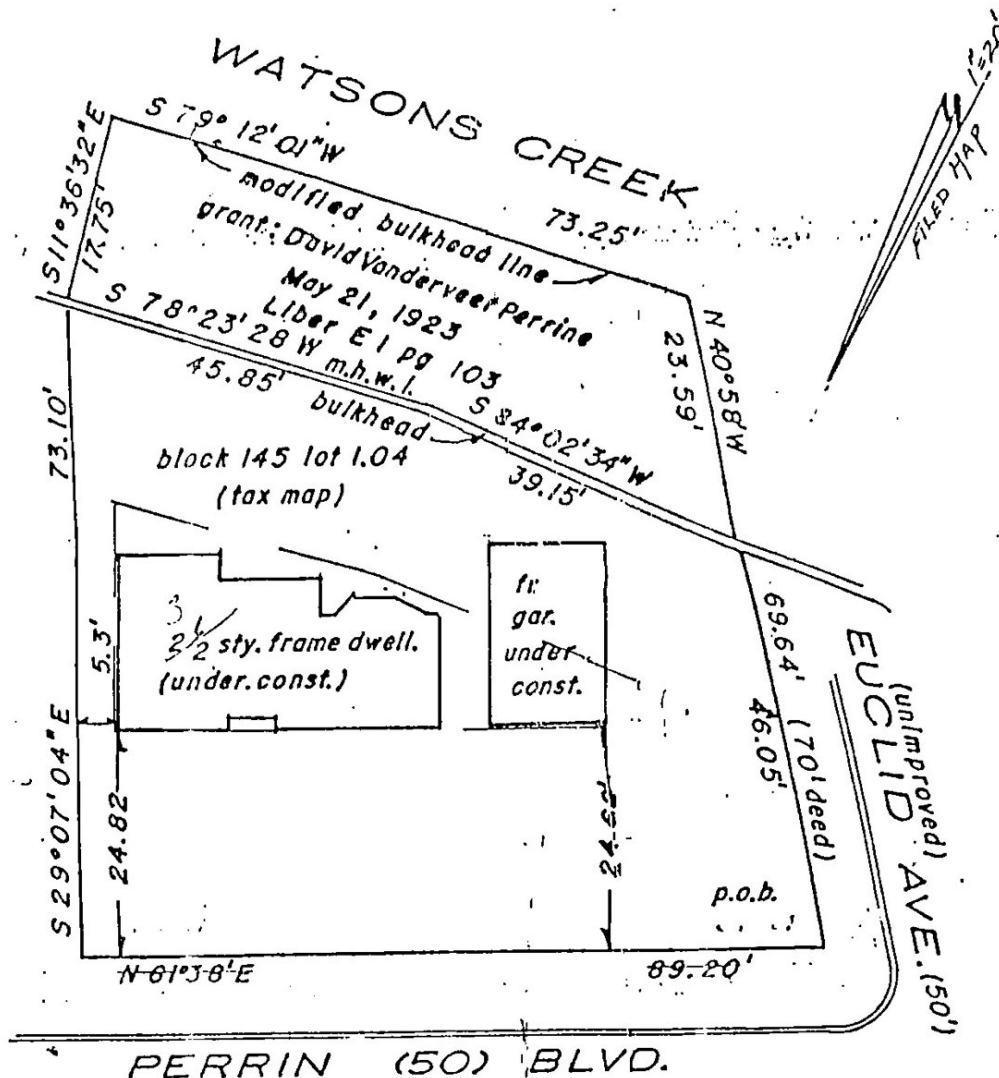
“ - Front Setback – 25ft. Permitted
24.82ft. Existing

“ - Side Setback (Left) – 15ft. Required
5.3ft. Existing

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

Richard Furey
Zoning/Code Enforcement Officer



C.R.P. _____
 N.J.C. _____
 R.H. *[Signature]*
 A.H. *[Signature]*

CERTIFIED TO: CHARLES R. PETERS AND NICHOLAS J. CONDON, FIRST ATLANTIC SAVINGS AND LOAN ASSOCIATION, its successors and/or assigns, FIRST AMERICAN TITLE INSURANCE COMPANY & LAUFMAN, HENDERSON, MILLS AND WIGHT, P.A.

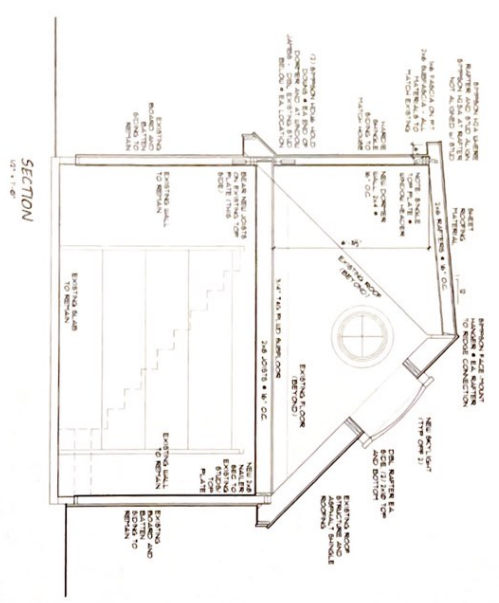
BEING KNOWN AS LOT 1.04 as SHOWN ON "FINAL MAJOR SUBDIVISION OF LOT 1, BLOCK 145, MANASQUAN BOROUGH, MONMOUTH CO., N.J. BY WALTER J. PARTINGTON ON JUNE 6, 1986 AND FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE., FREEHOLD, N.J.

This is a location Survey. Property corners were not staked.

This certification is made only to named parties for purchase and/or mortgage of herein delineated property by named purchaser. No responsibility or liability is assumed by surveyor for use of survey for any other purpose including, but not limited to, use of survey for survey of title, resale of property, or to any other person not listed in certification, either directly or indirectly.

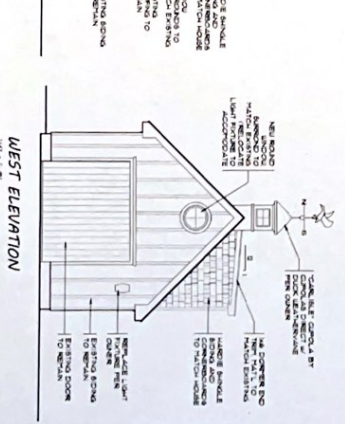
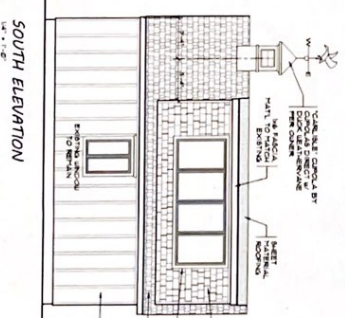
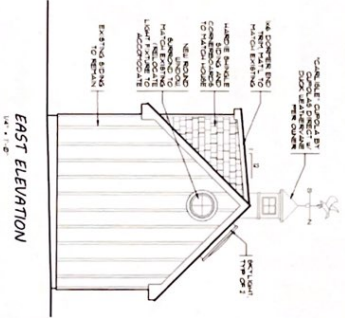
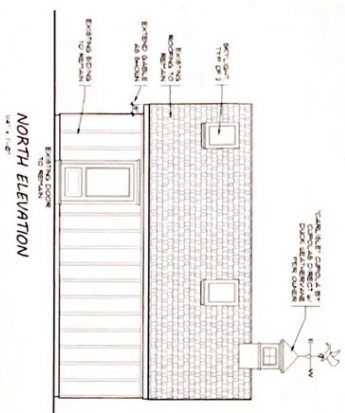
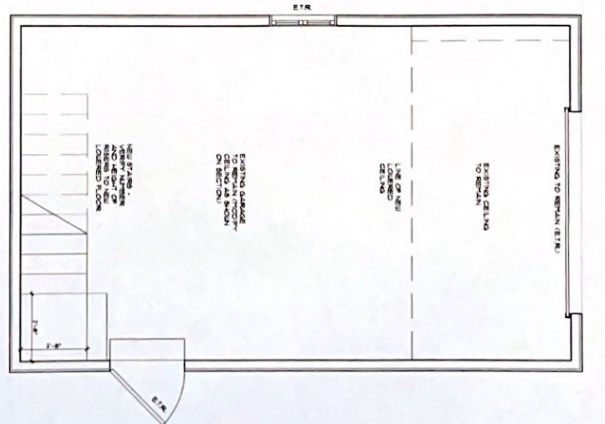
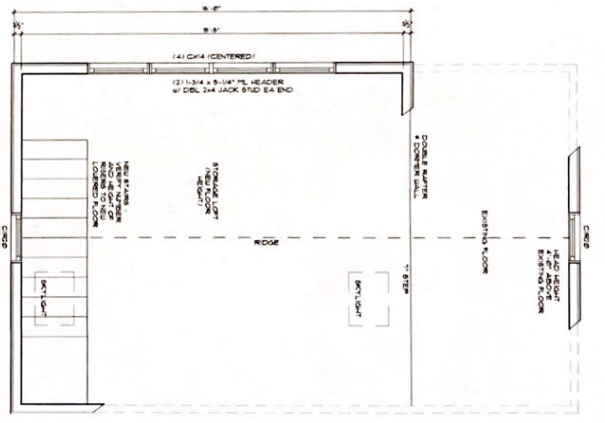
OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED FOR ESTABLISHING PROPERTY LINES.

SURVEY OF PROPERTY



GENERAL NOTES:
 1. ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE ENGINEER.
 2. THE ROOF SHALL BE CONSTRUCTED TO PROVIDE A MINIMUM 1/2" DRAINAGE SLOPE.
 3. THE ROOF SHALL BE CONSTRUCTED TO PROVIDE A MINIMUM 1/2" DRAINAGE SLOPE.
 4. THE ROOF SHALL BE CONSTRUCTED TO PROVIDE A MINIMUM 1/2" DRAINAGE SLOPE.
 5. THE ROOF SHALL BE CONSTRUCTED TO PROVIDE A MINIMUM 1/2" DRAINAGE SLOPE.

LOADING CRITERIA	
DEAD LOAD	15 PSF
LIVE LOAD	20 PSF
WIND LOAD	AS PER CODE
ICE LOAD	AS PER CODE
SEISMIC LOAD	AS PER CODE
ALL STRUCTURAL MATERIALS AND FINISHES TO REMAIN ARE INDICATED	
FINISHES TO REMAIN	
CONSTRUCTION TYPE	MS
BUILDING VOLUME	10,000
DATE	10/10/10
SCALE	1/4" = 1'-0"



<p>BRIAN M. COLLIS ARCHITECTURE 129 JOHN STREET BRICK NEW JERSEY 08724 TEL: 848-469-1864</p>	<p>BRIAN M. COLLIS 10/10/10</p>	<p>ALTERATION OF GARAGE ROOF AT: 519 PERRINE BOULEVARD LOT: 104 BLOCK: 14B BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY</p>	
		<p>DATE: 10/10/10</p>	<p>SCALE: 1/4" = 1'-0"</p>

May 23, 2022

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1870
Use Variance/Major Subdivision/Site Plan – Ocean Bay Developers LLC
Block 23, Lots 7.02 & 10
39 South Street
B-1 - Business Zone
Borough of Manasquan, Monmouth County, NJ



Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Conceptual Architectural Floor Plans and Elevations prepared by VLBJR+, dated December 10, 2021.
2. Preliminary and Final Site Plan prepared by Matthew Martin, PE, of Scope Engineering, Inc., dated April 11, 2022.
3. Preliminary Plat – Major Subdivision prepared by Andrew Stockton, PE, PLS of Scope Engineering, Inc., dated December 6, 2021, last revised April 11, 2022.
4. Stormwater Management Report prepared by Matthew Martin, PE, of Scope Engineering, Inc., dated December 6, 2021, last revised March 21, 2022.
5. Traffic Engineering Response prepared by David Shropshire, PE, PP, of Shropshire Associates, LLC, dated April 26, 2022.

The property is located in the B-1 Business Zone with frontage on South Street and Branin Avenue. With this application, the applicant proposes to subdivide the property to create three residential lots fronting on Branin Avenue and a site plan for two, four bedroom townhouses fronting on South Street which will share the existing driveway access with existing Lot 10. A paved parking lot and associated site improvements for the townhomes are also proposed. The application is deemed complete on May 23, 2022.

The following are our comments and recommendations regarding this application:

Zoning

1. The property is located in the B-1 - Business Zone.



Re: Boro File No. MSPB-R1870
Use Var./Subdivision/Site Plan – Ocean Bay Dev.
Block 23, Lots 7.02 & 10

May 23, 2022
Sheet 2

2. This application requests three separate approvals from the Board. A major subdivision for the creation of the proposed lots (three residential fronting on Branin Avenue, the townhouse lot, and the existing dwelling Lot 10), a use variance for all the proposed residential lots as the property is in a business zone where single family residential and multi-family development is not permitted, and a site plan for the proposed townhouse development.
3. The following use ('d') variance is required as part of this application:
 - a. Various business uses are permitted in the B-1 Zone, whereas single family residential and multi-family/townhouse uses are proposed.
4. The following bulk ('c') variances are required as part of this application:

Proposed Lot 7.14

 - a. A maximum lot coverage of 60% is permitted, whereas a lot coverage of 75% is proposed.
 - b. A minimum driveway aisle width of 24 feet is required, whereas an aisle 12 feet wide is proposed.
 - c. A minimum parking stall size of 9' x 19' is required, whereas stalls of 9' x 18' are proposed.
5. A cross access easement is proposed for the shared driveway between the proposed townhouses and the existing dwelling. The draft deed and deed description for this area must be submitted for review.
6. The rear area of the townhouse lot indicates a cabana and pool area but only a general concept layout is proposed. As a variance for lot coverage is already being requested for this lot, a specific design and dimensions must be provided along with coverage calculations if it is to be considered.
7. The applicant should indicate if the third floor of the townhouses will be utilized as an attic space or half-story.
8. A minimum of 80 square feet storage space is required for each of the proposed townhouses. The applicant should explain how this requirement will be met in the proposed garage or another area.
9. Full layouts for the three proposed residential dwellings on Branin Avenue have not been provided. The applicant should be aware that all of the bulk requirements must be met or a separate application to the Board will be required for each lot.

Re: Boro File No. MSPB-R1870
Use Var./Subdivision/Site Plan – Ocean Bay Dev.
Block 23, Lots 7.02 & 10

May 23, 2022
Sheet 3

Drainage

10. There will be a total reduction in impervious coverage for the development and as such it does not meet the warrants to be considered a major development for the NJDEP stormwater requirements.
11. The application proposes to relocate the existing Borough drainage line located within an existing easement on the subject property and add a drainage inlet on Branin Avenue within the Borough right-of-way. Although the drainage layout appears acceptable, approval from the Borough Council will be required to vacate the existing easement, create the new easement and install the new drainage improvements. The extent of roadway repair to install the new drainage must also be shown on the plan and all necessary construction details provided.
12. Grading plans and offsite elevations for the three proposed residential lots must be shown to demonstrate there will be no adverse stormwater impacts to the surrounding properties.
13. The applicant should be aware that drainage recharge systems will be required for each of the new proposed residential dwellings.
14. Roof recharge systems for the townhomes are also required. I suggest that roof drains from the proposed townhouses be connected to the existing drainage system on-site with perforated pipe meet this requirement and to reduce the runoff directed to South Street.
15. I suggest the townhouse parking area be regraded to direct runoff to the existing grate to the greatest extent practical. An elevation of the reset grate for this inlet should be provided and it should be labeled as a type 'E' inlet with a bicycle safe grate.

Traffic

16. The proposed access aisle for the shared driveway for Lots 7.14 and 10 requires a variance for width. The 12 feet wide driveway does not allow for two-way traffic and there does not appear to be an opportunity to widen it or provide a pull off with the current layout. I suggest that at a minimum, signage be provided on the drive aisle indicating that entering traffic has the right-of-way if this is to be considered by the Board.
17. Approval from the County will be required for the future road widening easement versus a full right-of-way dedication.
18. I suggest that the existing driveway be provided with a pavement overlay in conjunction with the new parking area.

Landscaping/Lighting

19. Any site lighting for the townhomes or parking area, building mounted or freestanding, must be shown on the plans, with lighting levels and details provided.

Re: Boro File No. MSPB-R1870
Use Var./Subdivision/Site Plan – Ocean Bay Dev.
Block 23, Lots 7.02 & 10

May 23, 2022
Sheet 4

20. A landscaping plan is provided for the townhouse lot. Landscaping plans for the front yards of the single family lots will be required as a part of building permit submission.
21. I suggest a buffer fence and planting be provided between the rear parking area and proposed Lot 7.13.
22. It does not appear that any existing trees on the property will be removed as part of the application.

Miscellaneous

23. The proposed method of trash collection should be described as a trash area is not proposed for the townhomes.
24. The interior wall between the townhomes must be soundproofed to meet a Sound Transmission Class (STC) rating of 50 or higher.
25. Detectable warning surfaces must be provided for the reconstructed sidewalk at the crosswalk.
26. If housewalk is proposed from the rear parking area to the decks it must be shown on the plan and included in the coverage calculations.
27. As the subdivision portion of the application is a major subdivision, the subdivision must be filed by map. There are a number of items which must be added to the plan, including the property owners list, benchmark, centerline and right-of-way half width for Branin Avenue, and certifications for the plan to meet the requirements of the New Jersey Title Recordation Act (Map Filing Law). All necessary items must be added to the plan prior to submission for signing of the final plat.
28. Metes and bounds of all proposed easements must be shown on the subdivision plan.
29. All construction details for proposed improvements must be provided, including borough roadway and drainage and all on-site improvements.
30. Any new utilities must be located underground if possible. Separate water and sewer connections are proposed but pavement repair limits in the roadway should be shown on the plan for the utility connection and curb and sidewalk replacement.
31. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board
 - b. Freehold Soil Conservation District




Re: Boro File No. MSPB-R1870
Use Var./Subdivision/Site Plan – Ocean Bay Dev.
Block 23, Lots 7.02 & 10

May 23, 2022
Sheet 5

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Matthew Martin, PE
Scope Engineering, Inc., PO Box 899, Forked River, NJ 08731
Ocean Bay Developers, LLC
1065 Route 22 W, Bridgewater, NJ 08807

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: Ocean Bay Developers, LLC (Contract Purchaser)

*Applicant's Address: 1065 Route 22 W, Bridgewater, NJ 08807

*Telephone Number: Home: _____ Cell: 215-669-6592

*e-mail Address: acorsini@fieldstoneassoc.net

*Property Location: 39 South Street

*Block: 23 Lot: 7.02 & 10 Bulk Variance, Non-Permitted Use & Major Subdivision & Site Plan Approval

*Type of Application: _____
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval

*Date of Zoning Officer's Denial Letter: 02/02/2022
Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? No

*Does the Applicant own any adjoining land? No

*Are the property taxes paid to date? Yes

*Have there been any previous applications to the Planning Board concerning this property? No
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this property? No
(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent

Date

06/2021

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
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THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

January 19, 2022

Ocean Bay Developers, LLC
202 Main Street
Toms River, NJ 08753

Re: Block: 23 Lot: 7.01,7.02 Zone: B-1
39 South Street

Dear Sir or Madam:

On this date we reviewed your application for the following project.

Remove all of the existing buildings and structures on the property and subdivide Block 23, Lots 7.01 & 7.02 into four fully conforming lots in the B-1 Business Zone.

Proposed Lot 7.11(5,391s.f.) - Proposed Lot.7.12 (5,312 s.f.) - Proposed Lot 7.13 (5,000s.f.) fronting on Branin Avenue.

Proposed lot 7.14 (11,800s.f.) fronting on South Street.

Construct single family dwellings on lots 7-11, 7-12 & 7.13 and construct a two story two family dwelling on Lot 7-14. Proposed common driveway between Lot 7.14 and Lot 10.

Major subdivision plot prepared by Matthew Martin on December 6, 2021. Conceptual plans for Lot 7.14 prepared by VLBJR+ Architecture on December 10, 2021.

Application denied for the following reason(s):

Section 32-8.1 – Requires Planning Board approval for the proposed major subdivision.

Section 35-5.9 – B-1 Zone – Permitted Use – Business use only
Proposed Use – Three single family dwellings fronting on Branin Avenue & a two family residential dwelling fronting on South Street.

Proposed Lot 7.14:

Section 35- 9.4 – Lot Coverage – 60% Permitted
75% Proposed

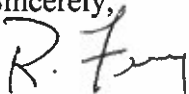
Section 35-13.2 – Driveway Aisle (two way) – 24ft. Required
12ft. Proposed

Additional required documentation:

- Two on - site parking spaces on lot 10.
- Status of lot 11
- Proposed lot 7.14 must comply with Section 35-9.7
- Location of any mechanical equipment on lot 7.14.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

Traffic Engineering, Transportation Planning & Design

277 White Horse Pike, Suite 203, Atco, NJ 08004
P: 609-714-0400 F: 609-714-9944 www.sallc.org

David R. Shropshire, PE, PP
A Andrew Feranda, PE, PTOE, CME
Randal C. Barranger, PE
Nathan B. Mosley, PE, CME

April 26, 2022

Mr. Arthur Corsini
Ocean Bay Developers, LLC
1605 Route 22
Bridgewater, NJ 08807

(via email: acorsini@fieldstoneassoc.com)

Re: **Traffic Engineering Response
Monmouth County Planning Board File #MQMJ815
Ocean Bay Developers, LLC
39 South Street, Block 23, Lot 7.02
Borough of Manasquan, Monmouth County, NJ
SA Project No. 22032**

Dear Art:

In response to the Monmouth County Planning Board January 24, 2022 Development Review Committee Request for Information, Shropshire Associates, LLC has prepared this response to traffic engineering comments regarding the proposed driveway width and provision of a roadway improvement easement.

Driveway Width: The proposed shared driveway will provide access to two townhomes and one single family home. The driveway is proposed to be maintained at its current width of 12' wide for a two-way operation. A waiver is requested as a minimum 24' driveway width is required. The justification for the waiver relates to the minimal trip activity that will be generated by the proposed two townhomes and one single family home. According to the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*, the shared driveway will have a projected peak hour trip generation of two vehicles using the Single Family Detached Housing Land Use #210 and the Multifamily Housing (Low Rise) Land Use #220. The ITE data confirms that the projected two trips per hour would apply to the following peak hours:

- Weekday AM peak hour of the street traffic
- Weekday AM peak hour of the generator
- Weekday PM peak hour of the street traffic
- Weekday PM peak hour of the generator
- Saturday peak hour of the generator
- Sunday peak hour of the generator

Daily trip volumes from the two townhomes and one single family home would range from 14 to 27 vehicles. The uses are low traffic generators and will have an insignificant impact on area street network.

With minimal projected site traffic, two-way traffic conflicts will be minimized as the driveway will function similarly to a standard single-family driveway. In addition, South Street (CR 20) is a low speed (30 MPH) 27.3' wide two-way Urban Collector street with similar driveway widths for residential land uses directly across the street from the proposed residential use. Based on the proposed townhome use, the driveway width is appropriate and can function safely with a minimal trip profile.

Roadway Improvement Easement: A right-of-way (ROW) dedication of 30' from the centerline of South Street is required for the application to accommodate an ultimate 60' ROW width for South Street. The current ROW of South Street is 45' which contains a 27.3' cartway width and sidewalk areas on either side of the street. The applicant proposes a 7.5' wide easement from the current property line to effectuate the 30' from centerline requirement. The proposed easement is sufficient to provide potential roadway widening improvements. Given the current sidewalk area along the site frontage exceeds an 8' width, the 7.5' easement would primarily be used to accommodate pedestrian facilities within the ultimate South Street ROW. An easement is an effective means to accommodate the objectives of the County Road Plan ROW requirements.

If you have any questions, please do not hesitate to call me.

Sincerely,
Shropshire Associates LLC



David R. Shropshire, P.E., P.P.
Principal
DRS/jab

cc: Ken Pizzo Jr. (via email: Kspjr@pizzoandpizzo.com)
Chris Cooper (via email: chris@njkitchenman.com)
Rebecca Martin (via email: Rmartin@scopeengineering.com)

Scope Engineering, Inc.

P.O. Box 899 Forked River NJ 08731

December 6, 2021 Rev. March 21, 2022

814-13

RE: Stormwater Management Summary Report
39 South Street
Block 23, Lot 7.02
Borough of Manasquan, Monmouth Co., NJ

Summary:

The subject site is designated as Block 23 Lot 7.02 within the Borough of Manasquan and is situated between South Street and Branin Ave. The site is an existing developed property with a 4,500 SF funeral home, accessory structures, paved driveways and parking areas, and walkways. The applicant is proposing to demolish and remove the existing buildings and site improvements to construct three (3) single family homes and a townhouse duplex after subdividing the land.

The site is currently graded so that runoff from the existing front yard areas and portions of the rear yard areas drain toward South Street and into existing established drainage patterns; and runoff from portions of the rear yards drain toward the back of the property and offsite into existing established drainage patterns on Branin Avenue.

Lot Coverage Computations

Total Tract Area = 27,503 Sf = 0.63 Ac.

Existing Lot Coverage (Total)

Existing Principal & Accessory Building Footprint Area (to be removed) =	6,589 sf
Existing Driveway, Parking, Walkway Areas (to be removed) =	15,645 sf
Total Existing Impervious Coverage =	22,234 sf = 81 %

New Lot 7.14 Tract Area = 11,800 Sf = 0.27 Ac.

Existing Lot Coverage (New Lot 7.14)

Existing Principal & Accessory Building Footprint Area (to be removed) =	4,942 sf
Existing Driveway, Parking, Walkway Areas (to be removed) =	2,926 sf
Total Existing Impervious Coverage =	7,868 sf = 67 %

Proposed Lot Coverage (New Lot 7.14)

Proposed Lot Coverage @ 75% Max Cover =	8,850 sf
---	----------

New Lots 7.11, 7.12 & 7.13 Total Tract Area = 15,703 Sf = 0.36 Ac.

Estimated Proposed Lot Coverage (New Lots 7.11, 7.12, & 7.13)

Proposed Lot Coverage @ 45% Max Cover =	7,067 sf
Total Proposed Impervious Lot Coverage =	15,917 sf = 58%

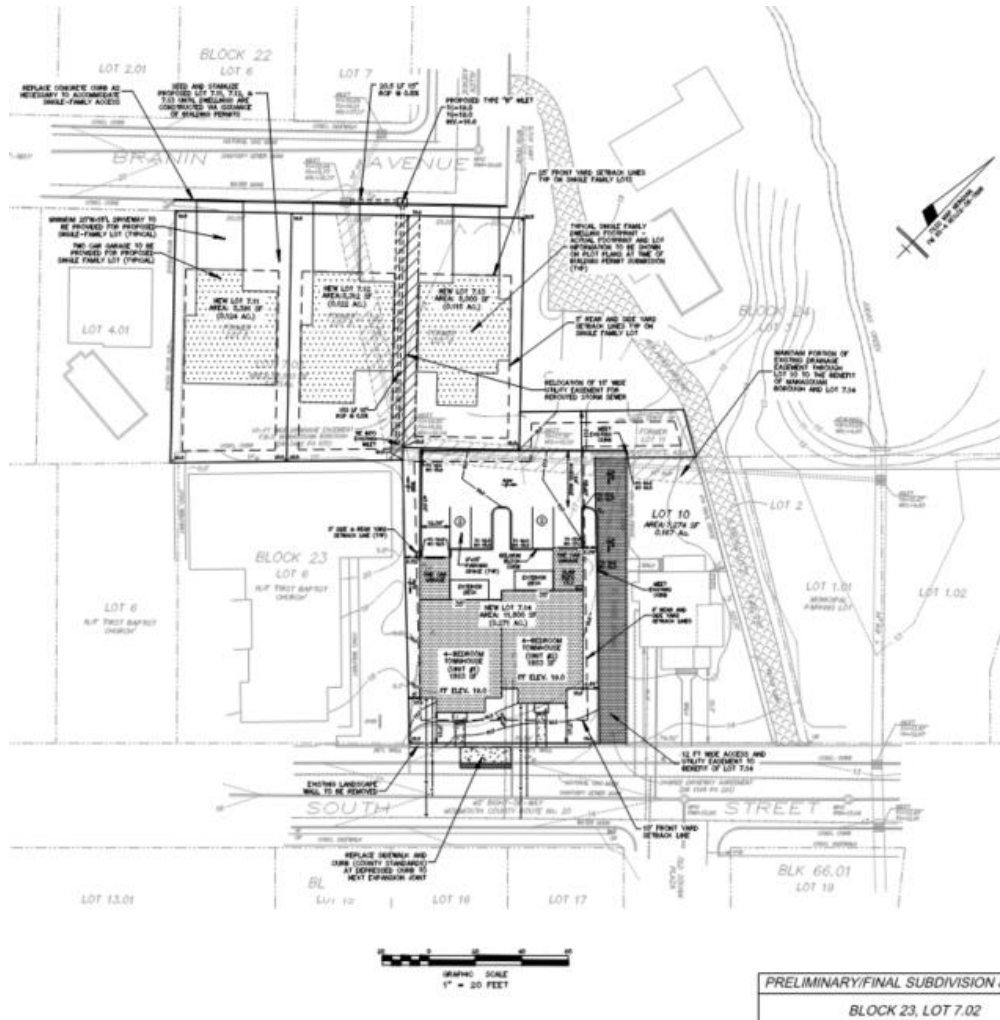
Proposed Change in Impervious Coverage = 22,234 sf (prop) – 15,917 sf (exist) = -6,317 sf. (-0.15 Ac.)

Proposed Area of Disturbance = 29,912 sf = 0.69 Ac.

The scope of the project does not propose more than ¼ acre of new impervious coverage nor more than 1 acre of total land disturbance, therefore it does not trigger the minimum threshold requirements to be considered “major development” according to the NJ Department of Environmental Protection rules for Stormwater Management at NJAC 7:8-5 et seq.

The scope of the project consists of redevelopment of existing improvements on a fully developed lot. The total impervious coverage will be reduced post-construction. Accordingly, total site impact is reduced in the post-development conditions for both water quality and total runoff. Therefore, additional stormwater control measures are not proposed for the project.

While exempt under NJAC 7:8, the project has been designed to address stormwater standards set forth in the Stormwater Management Rules issued by the NJDEP including water quantity control, water quality control, and groundwater recharge.



Site Plan Exhibit

Water Quantity

As a redevelopment project within a sub-urban environment the proposed project has been designed to maintain existing drainage patterns, directing flows onto the adjacent county and municipal streets, *South Street and Branin Ave*, respectively, where an existing stormwater collection system manages runoff and transports it to Judas Creek toward the north.

Impervious coverage can have a significant impact on altering the hydrologic cycle if not properly managed, particularly increasing the quantity of surface runoff and decreasing infiltration. The present site is predominantly covered with impervious material (81%) including the existing building, accessory structures, parking, driveways, etc. as calculated above. The proposed improvements will result in a decrease in impervious surface by 6,317 square feet and lot coverage not more than 58% of the total tract area. Therefore, total runoff quantity is reduced in the post-development conditions and the post-construction stormwater runoff is not proposed to have a significant impact on existing drainage patterns downstream of the project site.

New Lot 7.14 directs runoff to utilize existing drainage patterns in *South Street (County Route 20)*. Peak runoff values were calculated for Lot 7.14 using the Rational Method for the 2, 10, and 100-year storms as outlined below. The calculated values show there are only imperceptible differences between post-development un-attenuated stormwater runoff and pre-development stormwater runoff onto *South Street*.

Similarly, the peak runoff value for the entire tract was calculated using the Rational Method for the 2, 10, and 100-year storms as outline below. The calculated values show there is a reduction between post-development un-attenuated stormwater runoff and pre-development stormwater runoff off the site.

Runoff Quantity Calculations for New Lot 7.14

$$Q = C \times i \times A$$

where;

Q = peak discharge, cfs

C = runoff coefficient

i = rainfall intensity, inches per hour, with incremental time of concentration for each storm events; (taken from NJ Residential Site Improvement Standards, NJAC 7:5-21-7.2 Figure 7.2 Rainfall Intensity Curves)

A = tributary drainage area, Ac

Pre-Development Tract Area = 11,800 SF = 0.27 Ac.

Existing Impervious Area = 7,868 SF = 0.18 Ac

Existing Open Space Area = 3,932 SF = 0.09 Ac

Composite Runoff Coefficient, C

$$C = \frac{(0.18 \times 0.99) + (0.09 \times 0.20)}{0.27} = 0.73$$

Rainfall Intensity, i

$$i_2 = 4.3 \text{ in/hr (tc = 10 min)}$$

$$i_{10} = 5.8 \text{ in/hr (tc = 10 min)}$$

$$i_{100} = 8.0 \text{ in/hr (tc = 10 min)}$$

Pre-development Stormwater Runoff, Q_{pre}=C_iA

$$Q_2 = 0.73 \times 4.3 \times 0.27 = 0.85 \text{ cfs}$$

$$Q_{10} = 0.73 \times 5.8 \times 0.27 = 1.14 \text{ cfs}$$

$$Q_{100} = 0.73 \times 8.0 \times 0.27 = 1.58 \text{ cfs}$$

Post-Development Lot 7.14 Tract Area = 11,800 SF = 0.27 Ac.

$$\text{Proposed Impervious Area} = 8,850 \text{ SF} = 0.20 \text{ Ac}$$

$$\text{Proposed Remaining Open Space Area} = 2,950 \text{ SF} = 0.07 \text{ Ac}$$

Composite Runoff Coefficient, C

$$C = \frac{(0.20 \times 0.99) + (0.07 \times 0.20)}{0.27} = 0.79$$

Rainfall Intensity, i

$$i_2 = 4.3 \text{ in/hr (tc = 10 min)}$$

$$i_{10} = 5.8 \text{ in/hr (tc = 10 min)}$$

$$i_{100} = 8.0 \text{ in/hr (tc = 10 min)}$$

Post-development Stormwater Runoff, Q

$$Q_2 = 0.79 \times 4.3 \times 0.27 = 0.92 \text{ cfs}$$

$$Q_{10} = 0.79 \times 5.8 \times 0.27 = 1.24 \text{ cfs}$$

$$Q_{100} = 0.79 \times 8.0 \times 0.27 = 1.71 \text{ cfs}$$

Total Anticipated Increase in Stormwater Runoff (New Lot 7.14)

$$Q_2 = 0.92 \text{ cfs (post)} - 0.85 \text{ cfs (pre)} = 0.07 \text{ cfs}$$

$$Q_{10} = 1.24 \text{ cfs (post)} - 1.14 \text{ cfs (pre)} = 0.10 \text{ cfs}$$

$$Q_{100} = 1.71 \text{ cfs (post)} - 1.58 \text{ cfs (pre)} = 0.13 \text{ cfs}$$

Runoff Quantity Calculations for Entire Tract Area

Pre-Development Tract Area = 27,503 SF = 0.63 Ac.

Existing Impervious Area = 22,234 SF = 0.51 Ac

Existing Open Space Area = 5,269 SF = 0.12 Ac

Composite Runoff Coefficient, C

$$C = \frac{(0.51 \times 0.99) + (0.12 \times 0.20)}{0.63} = 0.84$$

Rainfall Intensity, i

$i_2 = 4.3$ in/hr (tc = 10 min)

$i_{10} = 5.8$ in/hr (tc = 10 min)

$i_{100} = 8.0$ in/hr (tc = 10 min)

Pre-development Stormwater Runoff, $Q_{pre} = CiA$

$$Q_2 = 0.84 \times 4.3 \times 0.63 = 2.28 \text{ cfs}$$

$$Q_{10} = 0.84 \times 5.8 \times 0.63 = 3.07 \text{ cfs}$$

$$Q_{100} = 0.84 \times 8.0 \times 0.63 = 4.23 \text{ cfs}$$

Post-Development Entire Tract Area = 27,503 SF = 0.63 Ac.

Proposed Impervious Area = 15,917 SF = 0.37 Ac

Proposed Remaining Open Space Area = 11,586 SF = 0.26 Ac

Composite Runoff Coefficient, C

$$C = \frac{(0.37 \times 0.99) + (0.26 \times 0.20)}{0.63} = 0.66$$

Rainfall Intensity, i

$i_2 = 4.3$ in/hr (tc = 10 min)

$i_{10} = 5.8$ in/hr (tc = 10 min)

$i_{100} = 8.0$ in/hr (tc = 10 min)

Post-development Stormwater Runoff, Q

$$Q_2 = 0.66 \times 4.3 \times 0.63 = 1.78 \text{ cfs}$$

$$Q_{10} = 0.66 \times 5.8 \times 0.63 = 2.40 \text{ cfs}$$

$$Q_{100} = 0.66 \times 8.0 \times 0.63 = 3.32 \text{ cfs}$$

Total Anticipated Increase in Stormwater Runoff

$$Q_2 = 1.78 \text{ cfs (post)} - 2.28 \text{ cfs (pre)} = -0.5 \text{ cfs}$$

$$Q_{10} = 2.40 \text{ cfs (post)} - 3.07 \text{ cfs (pre)} = -0.67 \text{ cfs}$$

$$Q_{100} = 3.32 \text{ cfs (post)} - 4.23 \text{ cfs (pre)} = -0.91 \text{ cfs}$$

As shown, there is a net reduction for the entire tract and only imperceptible differences from New Lot 7.14 into the existing drainage patterns of *South Street* between post-development un-attenuated stormwater runoff and pre-development stormwater runoff.

Water Quality:

Stormwater management measures shall be designed to reduce the post-construction load of total suspended solids (TSS) in stormwater runoff only where an additional one-quarter acre of impervious surface is being proposed on a development site. As noted above, a reduction in impervious surface is proposed at the subject site.

Water quality will be improved in the post-development conditions, however, since improvements within the proposed single-family lots will replace a percentage of the existing parking surface, which is known to contain high levels of stormwater pollutants, with clean roof-runoff.

Groundwater Recharge

With a decrease in impervious coverage, groundwater recharge requirements are not applicable, the site will however, increase the pervious coverage/infiltration area providing for additional recharge than what exists.

Conclusion:

The project proposes to redevelop a lot that is currently covered by 81% impervious materials with a townhouse duplex, three (3) single-family dwellings, and associated drive aisles/parking which will reduce the overall impervious coverage at the site to approximately 58%.

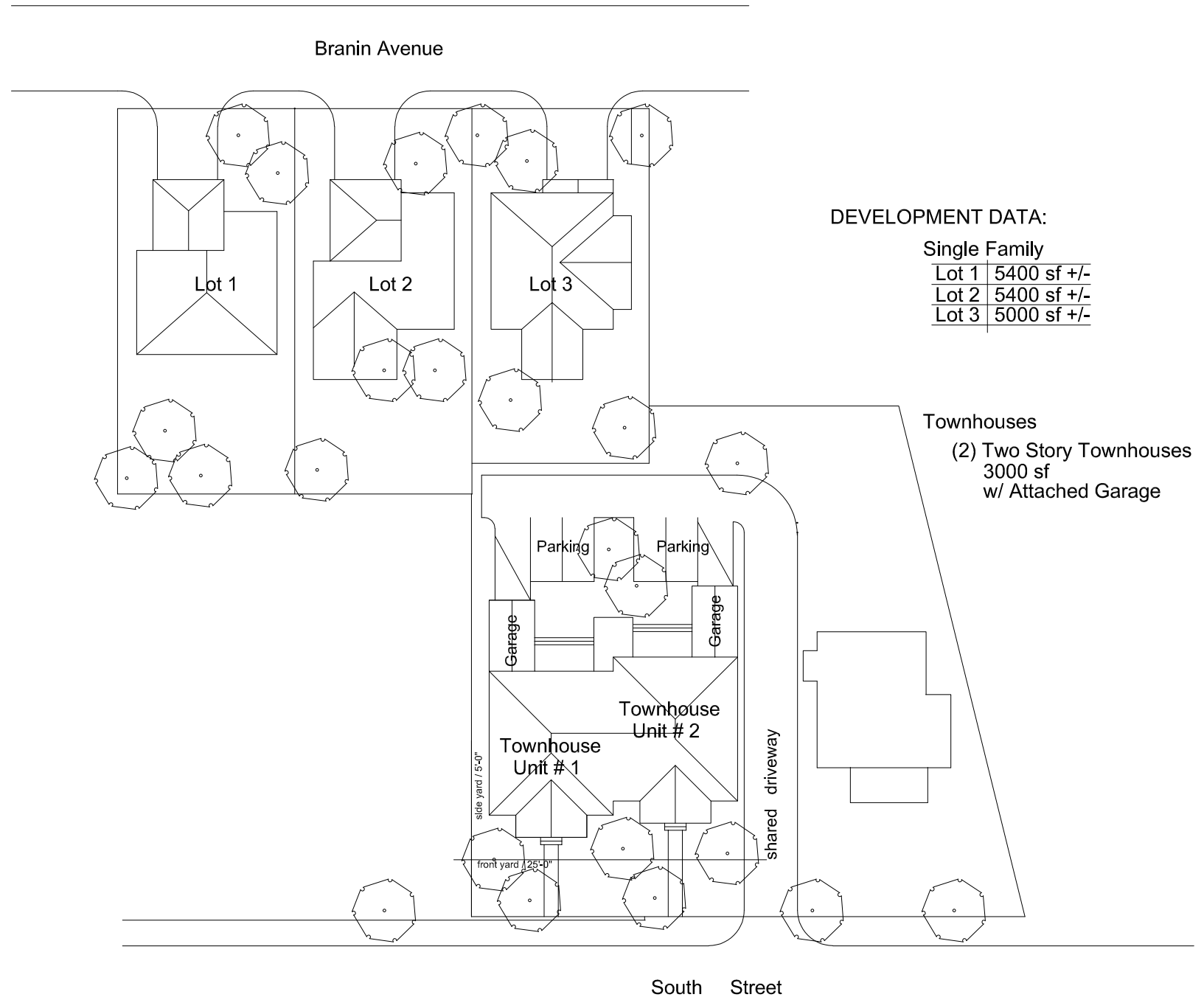
The site currently contains minimal stormwater controls where runoff is generally directed to and collected within the adjacent municipal & county streets. The post-construction stormwater runoff is not proposed to impact existing drainage patterns downstream of the project site differently than existing conditions.

The proposed project, not meeting the definition of Major Development, will result in a decrease in impervious coverage and have less than 1 acre of disturbance. With a proposed increase in pervious surface, the project will provide for improved water quantity, quality, and recharge goals along with improved site grading which will result in upgraded stormwater management conditions at the property.

Prepared By:



Matthew R. Martin, P.E.
 NJ PE Lic. #44165



DEVELOPMENT DATA:

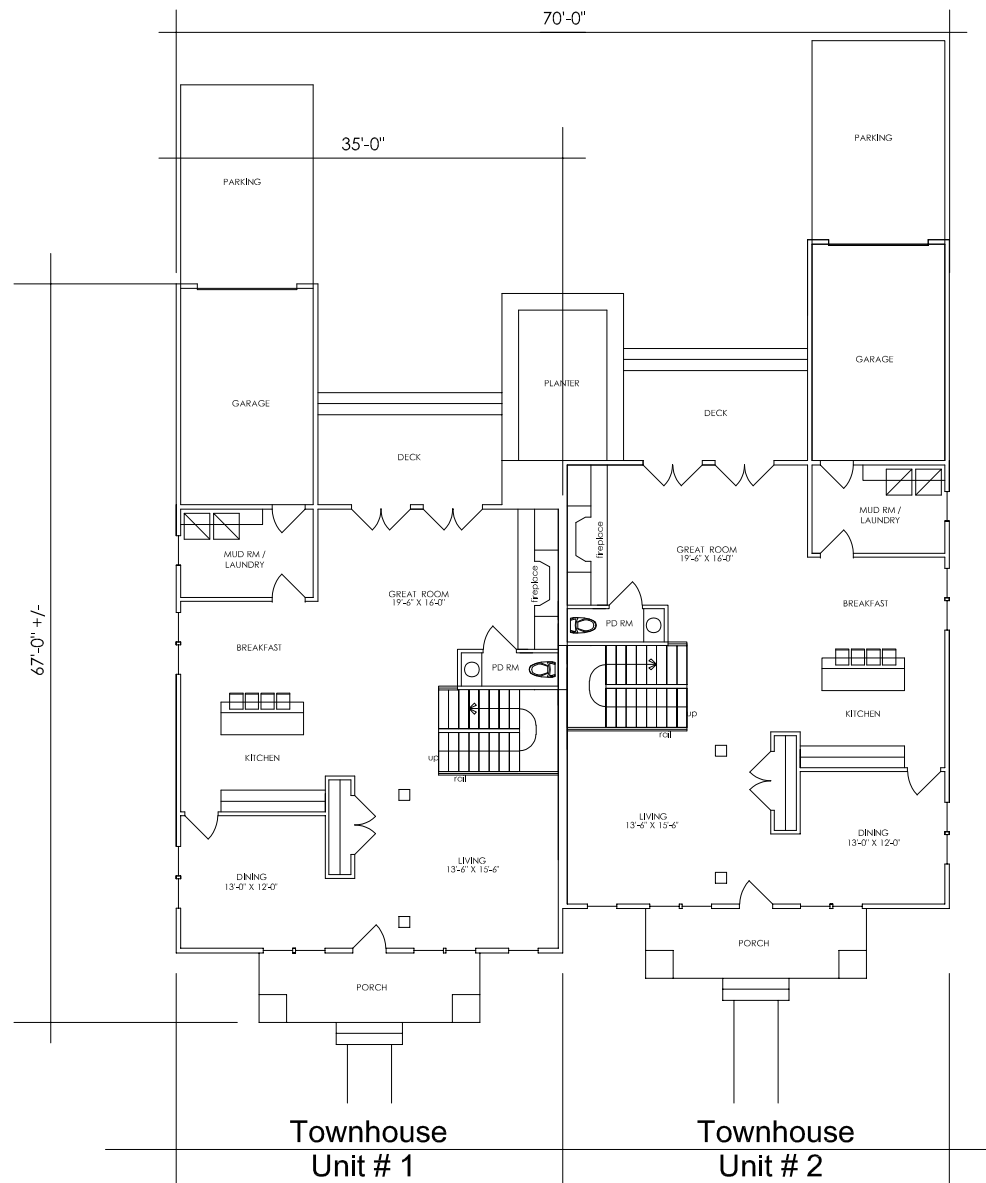
Single Family

Lot 1	5400 sf +/-
Lot 2	5400 sf +/-
Lot 3	5000 sf +/-

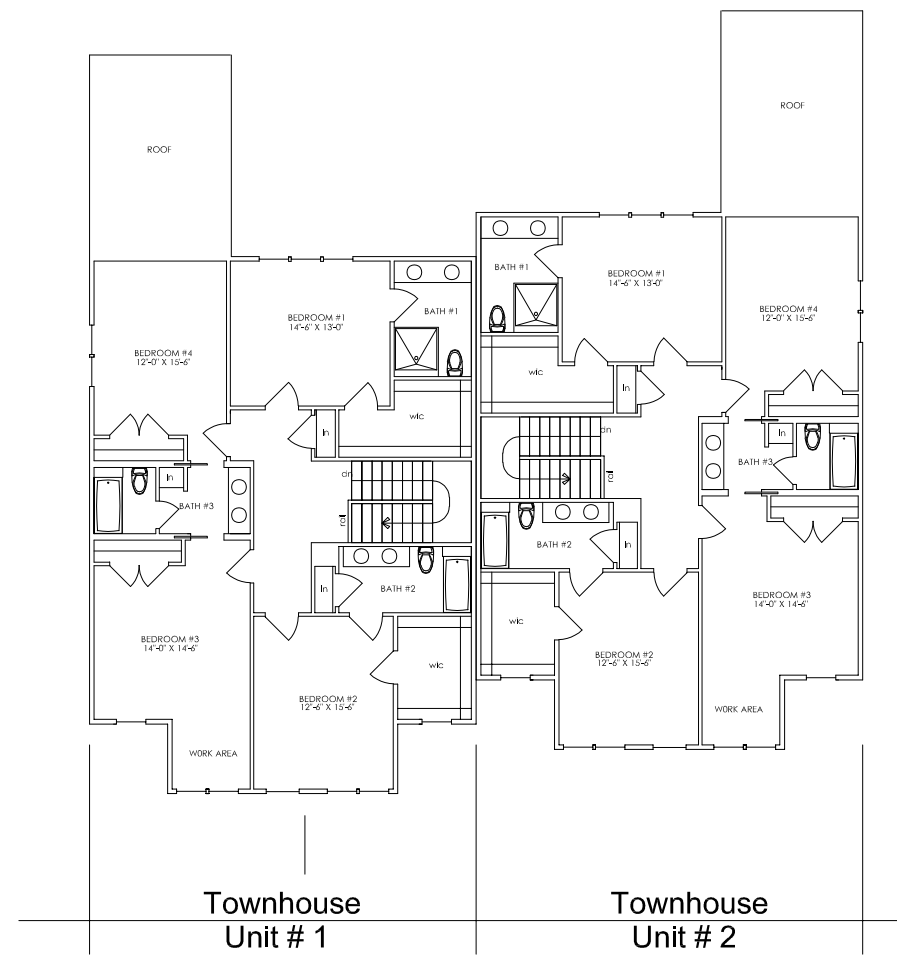
Townhouses
 (2) Two Story Townhouses
 3000 sf
 w/ Attached Garage

Concept Site Plan

39 South Street Parcel
 Borough of Manasquan
 Monmouth County, New Jersey
 10 DECEMBER 2021



FIRST FLOOR PLAN



SECOND FLOOR PLAN

39 South Street Parcel
 Borough of Manasquan
 Monmouth County, New Jersey
 10 DECEMBER 2021

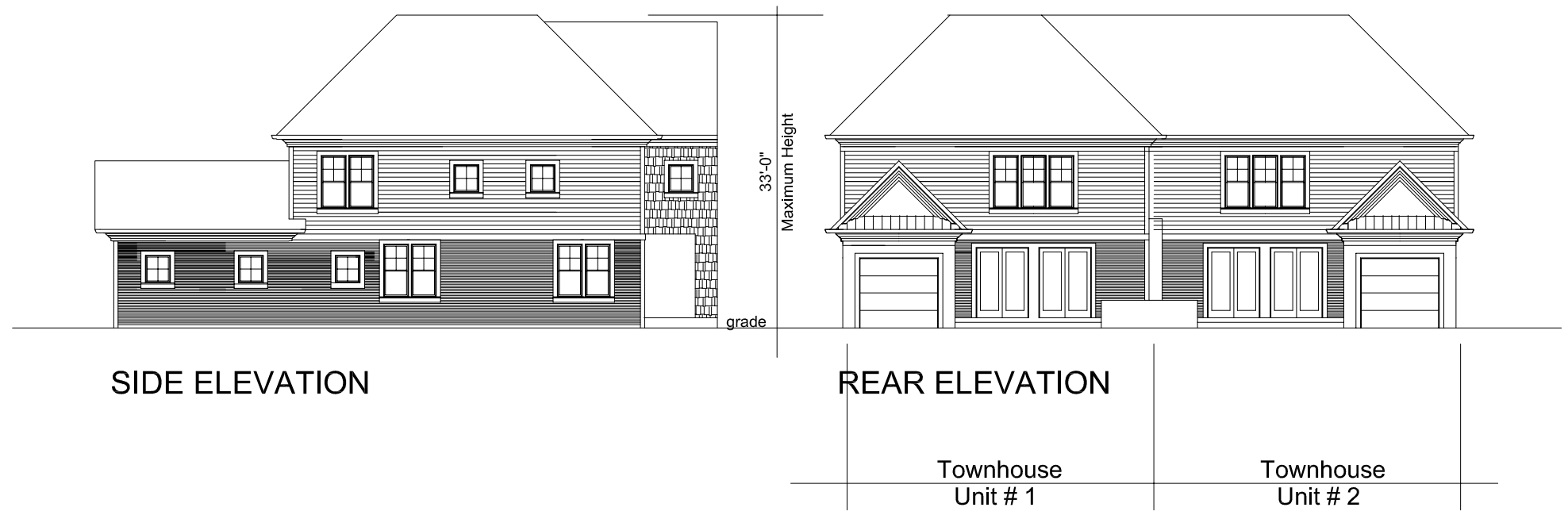


FRONT ELEVATION / SOUTH STREET

Townhouse
Unit # 1

Townhouse
Unit # 2

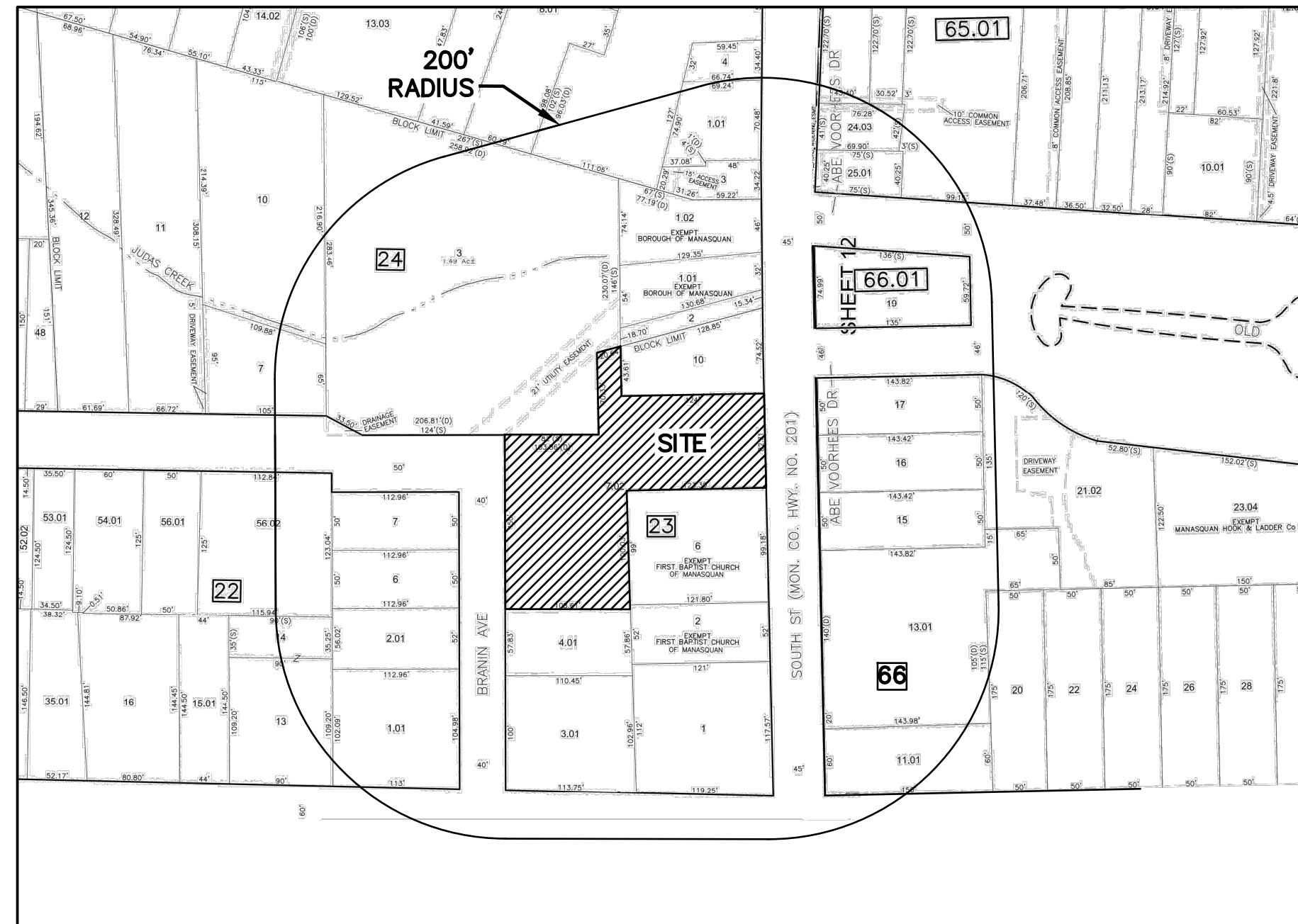
39 South Street Parcel
Borough of Manasquan
Monmouth County, New Jersey
10 DECEMBER 2021



39 South Street Parcel
Borough of Manasquan
Monmouth County, New Jersey
10 DECEMBER 2021

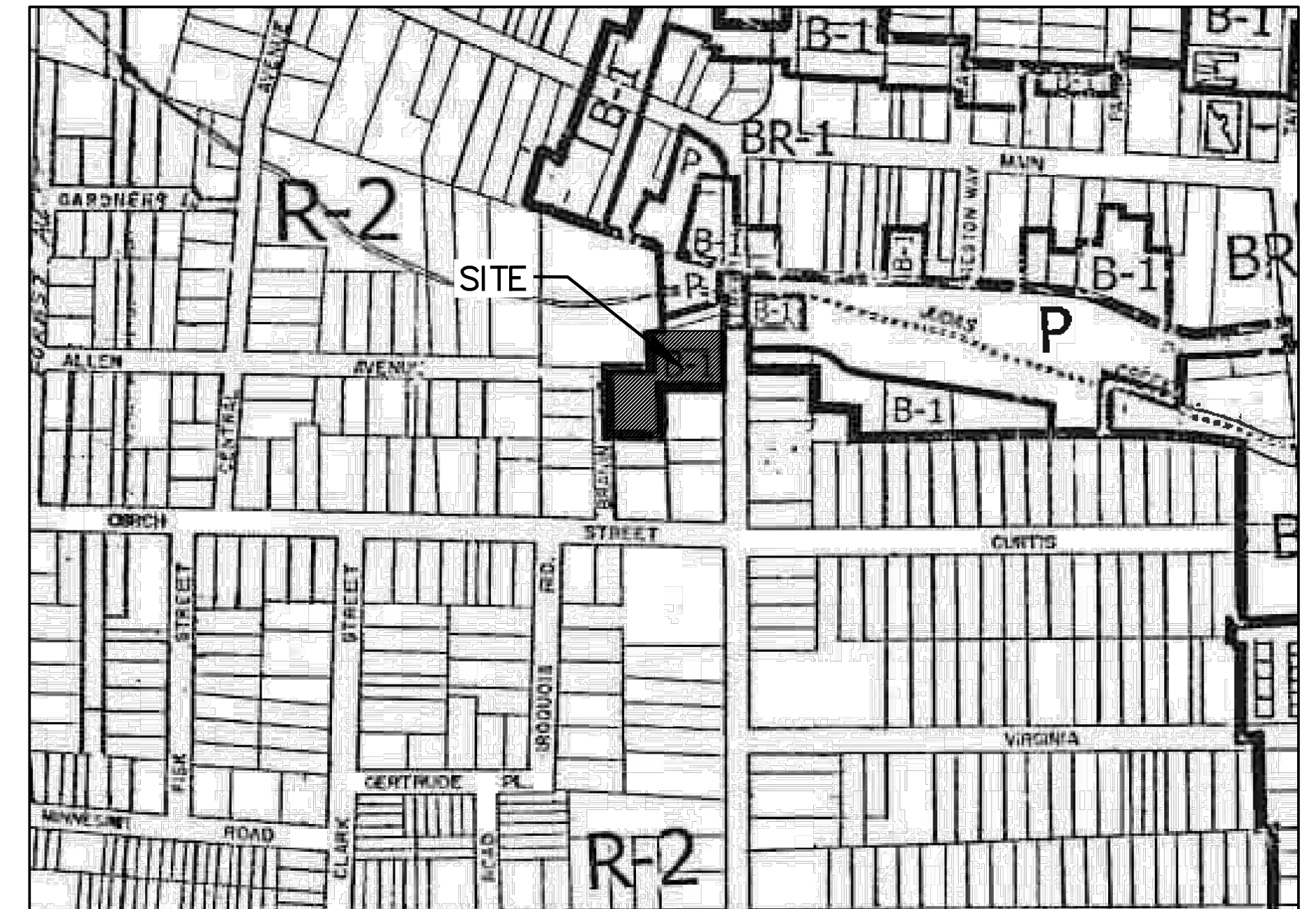
PRELIMINARY & FINAL SITE PLAN

FOR BLOCK 23, LOT 7.02 & 10 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY



KEY MAP

NTS
(MANASQUAN BOROUGH TAX MAP SHEETS 3 & 12)



ZONE MAP

NTS

GENERAL NOTES

- APPLICANT/CONTRACT PURCHASER: OCEAN BAY DEVELOPERS, LLC, 1065 ROUTE 22, BRIDGEWATER, NJ 08807
- SUBJECT PROPERTY IS KNOWN AS LOTS 7.02 AND 10 IN BLOCK 23 AS SHOWN ON SHEET 3 OF THE CURRENT MUNICIPAL TAX MAP FOR MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY. TOTAL TRACT AREA = 34,777 SF = 0.798 AC. AREA OF LOT 7.02 = 27,503 SF = 0.631 AC. AREA OF LOT 10 = 7,274 SF = 0.167 AC.
- BOUNDARY, TOPOGRAPHIC INFORMATION AND EXISTING CONDITIONS SHOWN BASED UPON MAP ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF PROPERTY FOR; OCEAN BAY DEVELOPERS, LLC; BLOCK 23, LOTS 7.02 & 10, TAX MAP SHEET NO. 3; MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY EASTERN CIVIL ENGINEERING, LLC, REVISION DATED 4/11/22.
- ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCH MARK REFERENCE: NGS PID NO. KV0827 ELEV.=19.61 FT (NAVD88).
- PER THE FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 34025C0456F EFFECTIVE DATE SEPTEMBER 25, 2009 AND PER PRELIMINARY FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 34025C0456G, DATED JANUARY 31, 2014, THE PROPERTY IS PARTIALLY LOCATED WITHIN A FLOOD ZONE (ZONE X).
- BASED ON NJDEP GEOWEB REVIEW ON 11/1/2021, NO WETLANDS OR WETLAND TRANSITION AREAS EXIST ON SITE.
- THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN. ALL CONTRACTORS MUST CALL THE NEW JERSEY ONE CALL SYSTEM (1-800-272-1000) TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DEMOLITION, CONSTRUCTION, ABANDONMENT, SOILS INVESTIGATION, AND/OR EXCAVATIONS.
- ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM TO ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND TO CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. ALL SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

ZONING SCHEDULE - BUSINESS "B-1" ZONE

REQUIREMENT	REQUIRED	EXISTING (7.02)	LOT 7.11	LOT 7.12	LOT 7.13	LOT 7.14
PERMITTED USE	BUSINESS/RETAIL	BUSINESS/RETAIL	RESIDENTIAL (V)	RESIDENTIAL (V)	RESIDENTIAL (V)	RESIDENTIAL (V)
MIN LOT AREA	5,000 SF	27,503 SF	5,391 SF	5,312 SF	5,000 SF	11,800 SF
MIN LOT FRONTAGE	30 LF	81.84 LF	50 LF	50 LF	50 LF	81.84 LF
MIN FRONT YARD SETBACK	10 LF	27.8 LF	25 LF*	25 LF*	25 LF*	13.2 LF
MIN SIDE YARD SETBACK	3 LF	3.2 LF	5 LF*	5 LF*	5 LF*	5 LF
MIN COMBINED SIDE SETBACK	7 LF	9.3 LF	10 LF*	10 LF*	10 LF*	10.8 LF
MIN REAR YARD	5 LF	34.35 LF	20 LF*	20 LF*	20 LF*	47.1 LF
MAX PRINCIPAL BLDG. HEIGHT	40 LF (3-STORIES)	< 40 LF	35 LF* (2.5 STORIES)	35 LF* (2.5 STORIES)	35 LF* (2.5 STORIES)	< 40 LF
MAX BUILDING COVERAGE	40 %	24 %	30%*	30%*	30%*	31 %
MAX LOT COVERAGE	60 %	81 %	45%*	45%*	45%*	75 % (V)**
TOTAL NUM. OF DWELLING UNITS	N/A	N/A	1 DU	1 DU	1 DU	2 UNITS
MAXIMUM DU/ACRE	N/A	N/A	N/A	N/A	N/A	7.4 DU/AC

* - ZONING INFORMATION WITH FINAL HOME FOOTPRINTS TO BE PROVIDED ON PLOT PLANS AT TIME OF BUILDING PERMIT SUBMISSION. TYPICAL SINGLE FAMILY HOME SCHEMATIC SHOWN ON SITE PLAN.
 ** - 15% ALLOWANCE INCLUDED FOR OPTIONAL POOL/POOL DECK/CABANA AND MISC. STRUCTURES (AC UNITS ETC.)
 NOTE: MAX COMBINED LOT COVERAGE LOTS 7.11-7.14 = 58%
 (V) - VARIANCE REQUESTED

PARKING CALCULATION

OFF-STREET PARKING:	REQUIRED	LOT 7.11	LOT 7.12	LOT 7.13	LOT 7.14
TOTAL # OF TOWNHOMES	—	—	*	*	2 DU
TOTAL # OF SINGLE FAMILY	—	1 DU	1 DU	1 DU	—
SPACES (TOWNHOMES)***	2/DU (2.5/DU RSIS)*2 DU = 4 SPACES (5)	—	—	—	8 SPACES
SPACES (SINGLE FAMILY)***	2/DU (2.5/DU RSIS)*1 DU = 2 SPACES (2.5)	3.5 SPACES	3.5 SPACES	3.5 SPACES	—
SIZE OF PARKING SPACE	9'x19'L	—	—	—	9'x18' (W)
GUEST PARKING TOWNHOMES****	0.5/DU*2 DU = 1 SPACE	—	—	—	3 SPACES

***RSIS REQUIREMENTS CALCULATED FOR 4-BEDROOM UNIT
 ****PER RSIS 0.5 ADDITIONAL SPACES FOR EACH DWELLING UNIT SHALL BE PROVIDED FOR GUEST PARKING
 (W) DESIGN WAIVER REQUESTED

BOROUGH OF MANASQUAN 200' CERTIFIED LIST - 39 SOUTH STREET - BLOCK 23, LOT 7.02

Block	Lot	Property Address	Owner Name	Mailing Street	Mailing City, State, Zip Code
23	1	61 SOUTH ST	DOHOVAN, EDWARD G & JANE M	61 SOUTH ST	MANASQUAN, NJ 08736
23	4.01	4 BRANIN AVE	LOFFREDO, JOSEPH & MATINA	4 BRANIN AVE	MANASQUAN, NJ 08736
66	11.01	56 SOUTH ST	GOETZ, PETER A & CATHERINE	56 SOUTH ST	MANASQUAN, NJ 08736
24	2	29 SOUTH ST	MILLARD, JOHN & SARAHJANE	29 SOUTH ST	MANASQUAN, NJ 08736
66.01	19	22 SOUTH ST	PNC BANK, NA	130 S JEFFERSON ST STE 300	CHICAGO, IL 60661
66	13.01	50-50-1/2 SOUTH ST	HOFFMAN, JASON & PACCIONE, JOSEPH	50 SOUTH STREET	MANASQUAN, NJ 08736
23	10	33 SOUTH ST	NEARYSCI NJ FUNERAL SERVICES INC	1929 ALLEN PKWY FL 8	HOUSTON, TX 77019
22	2.01	3 BRANIN AVE	FRANKLIN, JOSEPH P JR. & KIMBERLY L	3 BRANIN AVE	MANASQUAN, NJ 08736
23	3.01	16 CHURCH ST	MEAD, MARK & ANDREA	16 CHURCH ST	MANASQUAN, NJ 08736
22	1.01	26 CHURCH ST	FRANKLIN, JOSEPH P SR. & PATRICIA G	26 CHURCH ST	MANASQUAN, NJ 08736
27	5.01	1 SOUTH ST	MANASQUAN, BOROUGH	201 E MAIN ST	MANASQUAN, NJ 08736
22	7	81 ALLEN AVE	CARLSON, CRAIG AXEL	81 ALLEN AVE	MANASQUAN, NJ 08736
22	56.02	77 ALLEN AVE	CLAYTON, RICHARD J & LINDA P	77 ALLEN AVE	MANASQUAN, NJ 08736
66	17	36 SOUTH ST	36 SOUTH ST, LLC C/O TAUROSA, ROBER	PO BOX 670	ALLENWOOD, NJ 08720
22	13	36 CHURCH ST	MESSICK, DAVID L & MARY C	36 CHURCH STREET	MANASQUAN, NJ 08736
27	3	21 SOUTH ST	FENTON, ELIZABETH	107 HARRISON STREET	VERONA, NJ 07044
65.01	25.01	20 ABE VOORHEES DR	2 MD, LLC	588 WINDING RIVER RD	BRICK, NJ 08724
24	10	76 ALLEN AVE	CHRISTENSEN, RICHARD T & INGRID	76 ALLEN AVE	MANASQUAN, NJ 08736
22	6	5 BRANIN AVE	ANTHONY, FERNANDEZ & MARIE, ANN	PO BOX 261	MANASQUAN, NJ 08736
24	1.01	29 SOUTH ST	MANASQUAN, BOROUGH	201 E MAIN ST	MANASQUAN, NJ 08736
66	15	40 SOUTH ST	BLASI, ANTHONY & DEBORAH	40 SOUTH ST	MANASQUAN, NJ 08736
27	8.01	73-75-77-7 MAIN ST	SOUTH STREET ENT, INC C/O FARINACCI	PO BOX 803	MANASQUAN, NJ 08736
24	7	80 ALLEN AVE	COFFEY, SEAN	80 ALLEN AVE	MANASQUAN, NJ 08736
66	21.02	25 ABE VOORHEES DR	LAUREL LAW ASSOCIATES	25 ABE VOORHEES DR	MANASQUAN, NJ 08736
23	2	51 SOUTH ST	FIRST BAPTIST CHURCH MANASQUAN	51 SOUTH ST	MANASQUAN, NJ 08736
23	6	47 SOUTH ST	FIRST BAPTIST CHURCH MANASQUAN	51 SOUTH ST	MANASQUAN, NJ 08736
27	1.01	17 SOUTH ST	17 SOUTH STREET, LLC	17 SOUTH ST	MANASQUAN, NJ 08736

BOROUGH OF MANASQUAN 200' CERTIFIED LIST - 33 South Street - Block 23, Lot 10

Block	Lot	Property Address	Owner Name	Mailing Street	Mailing City, State, Zip Code
23	4.01	4 BRANIN AVE	LOFFREDO, JOSEPH & MATINA	4 BRANIN AVE	MANASQUAN, NJ 08736
24	2	29 SOUTH ST	MILLARD, JOHN & SARAHJANE	29 SOUTH ST	MANASQUAN, NJ 08736
66.01	19	22 SOUTH ST	PNC BANK, NA	130 S JEFFERSON ST STE 300	CHICAGO, IL 60661
66	13.01	50-50-1/2 SOUTH ST	HOFFMAN, JASON & PACCIONE, JOSEPH	50 SOUTH STREET	MANASQUAN, NJ 08736
65.01	4.01	107 MAIN ST	PNC BANK, NA	130 S JEFFERSON ST STE 300	CHICAGO, IL 60661
23	7.02	39 SOUTH ST	NEARYSCI NJ FUNERAL SERVICES INC	P.O. BOX 30064	COLLEGE STATION, TX 77842-3064
27	5.01	1 SOUTH ST	MANASQUAN, BOROUGH	201 E MAIN ST	MANASQUAN, NJ 08736
22	7	81 ALLEN AVE	CARLSON, CRAIG AXEL	81 ALLEN AVE	MANASQUAN, NJ 08736
66	17	36 SOUTH ST	36 SOUTH ST, LLC C/O TAUROSA, ROBER	PO BOX 670	ALLENWOOD, NJ 08720
27	3	21 SOUTH ST	FENTON, ELIZABETH	107 HARRISON STREET	VERONA, NJ 07044
65.01	25.01	20 ABE VOORHEES DR	2 MD, LLC	588 WINDING RIVER RD	BRICK, NJ 08724
27	4	9 SOUTH ST	TWICE C, LLC C/O COSENTINO	9 SOUTH ST	MANASQUAN, NJ 08736
22	6	5 BRANIN AVE	ANTHONY, FERNANDEZ & MARIE, ANN	PO BOX 261	MANASQUAN, NJ 08736
24	1.01	29 SOUTH ST	MANASQUAN, BOROUGH	201 E MAIN ST	MANASQUAN, NJ 08736
66	15	40 SOUTH ST	BLASI, ANTHONY & DEBORAH	40 SOUTH ST	MANASQUAN, NJ 08736
27	8.01	73-75-77-7 MAIN ST	SOUTH STREET ENT, INC C/O FARINACCI	PO BOX 803	MANASQUAN, NJ 08736
65.01	1.01	91 MAIN ST	JASPAN, DONALD J & GELLER, DIANE	91 MAIN ST	MANASQUAN, NJ 08736
66	21.02	25 ABE VOORHEES DR	LAUREL LAW ASSOCIATES	25 ABE VOORHEES DR	MANASQUAN, NJ 08736
23	2	51 SOUTH ST	FIRST BAPTIST CHURCH MANASQUAN	51 SOUTH ST	MANASQUAN, NJ 08736
23	6	47 SOUTH ST	FIRST BAPTIST CHURCH MANASQUAN	51 SOUTH ST	MANASQUAN, NJ 08736
27	1.01	17 SOUTH ST	17 SOUTH STREET, LLC	17 SOUTH ST	MANASQUAN, NJ 08736
65.01	24.03	10 SOUTH ST	BOULDER CONCEPTS, LLC	48 BAY POINT HARBOUR	POINT PLEASANT BORO, NJ 08742

200' PROPERTY OWNERS LIST

UTILITIES TO BE NOTIFIED

<input checked="" type="checkbox"/>	Jersey Central Power & Light - Customer Service P.O. Box 16001 Reading, PA 19612-6001
<input checked="" type="checkbox"/>	Verizon P.O. Box 4833 Trenton, NJ 08650-4833
<input checked="" type="checkbox"/>	NJ Natural Gas Company 1415 Wyckoff Road P.O. Box 1378 Wall, NJ 07715-0001
<input checked="" type="checkbox"/>	Cablevision 1111 Stewart Ave. Bethpage, NY 11714-3533
<input checked="" type="checkbox"/>	NJ American Water Company - Corporate Secretary 131 Woodcrest Road Cherry Hill, NJ 08003
<input checked="" type="checkbox"/>	Monmouth County Planning Board Hall of Records Annex 1 E. Main Street, Second Floor Freehold, NJ 07728-2273
<input checked="" type="checkbox"/>	Monmouth County Highway Dept. 150 Center Street Freehold, NJ 07728-2465
<input checked="" type="checkbox"/>	Township of Wall - Municipal Clerk P.O. Box 1168 Wall, NJ 07719-1168
<input checked="" type="checkbox"/>	Borough of Sea Girt - Municipal Clerk P.O. Box 296 Sea Girt, NJ 08750-0296
<input checked="" type="checkbox"/>	Borough of Brielle - Municipal Clerk 601 Union Avenue P.O. Box 445 Brielle, NJ 08730-0445
<input checked="" type="checkbox"/>	Borough of Point Pleasant - Municipal Clerk 416 New Jersey Avenue Pt. Pleasant, NJ 08742
<input checked="" type="checkbox"/>	State of New Jersey, Commissioner of Transportation Department of Transportation 1035 Parkway Avenue Trenton, NJ 08625-2309

SHEET INDEX

SHEET NO.	TITLE	DATE
SHEET 1	TITLE PAGE	4/11/22
SHEET 2	EXISTING CONDITIONS	4/11/22
SHEET 3	SUBDIVISION PLAN	4/11/22
SHEET 4	SITE PLAN	4/11/22
SHEET 5	LANDSCAPE & LIGHTING PLAN	4/11/22
SHEET 6	CONSTRUCTION DETAILS	4/11/22
SHEET 7	SOIL EROSION SEDIMENT CONTROL PLAN	4/11/22
SHEET 8	SOIL EROSION SEDIMENT CONTROL DETAILS	4/11/22

Approved as Preliminary and Final Subdivision & Site Plan by The Borough of Manasquan Planning Board on _____.

Planning Board Chairperson Date

Planning Board Secretary Date

I have reviewed this Subdivision & Site Plan and certify that it meets all codes and ordinances under my jurisdiction.

Borough of Sea Girt - Municipal Clerk Date

Borough of Brielle - Municipal Clerk Date

Borough of Point Pleasant - Municipal Clerk Date

State of New Jersey, Commissioner of Transportation Date

PRELIMINARY/FINAL SUBDIVISION & SITE PLAN

Scope Engineering inc.
Consulting Engineers

BLOCK 23, LOT 7.02 & 10

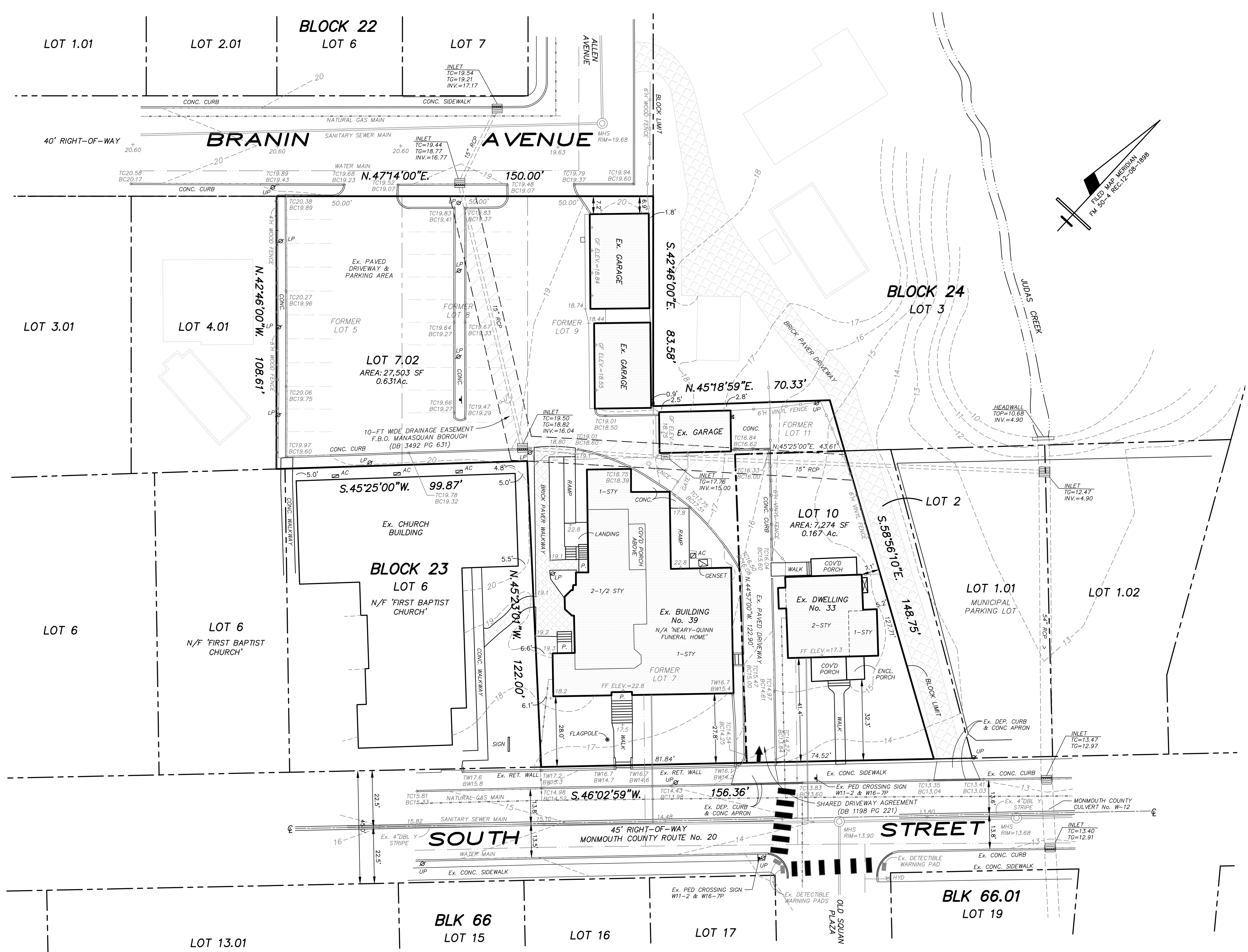
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY
(City Tax Map Sheet No. 3)

CERTIFICATE No. 24GA28103200
P.O. BOX 899
FORKED RIVER, NJ 08731
PHONE: 609-971-0700
FAX: 609-971-0772

TITLE SHEET

SCALE: AS SHOWN
DATE: 12/06/2021
DRAWN BY: R.A.M.
CHECKED BY: M.R.M.
SHEET NO. 1 OF 8
PROJECT NUMBER 814-13

Matthew R. Martin 12/06/21
MATTHEW R. MARTIN, P.E.
PROFESSIONAL ENGINEER
N.J. Lic No. 04416500



- ### SURVEY REFERENCES
- DEED BETWEEN QUINN ASSOCIATES; AND SGI NEW JERSEY FUNERAL SERVICES, INC. DATED 2-28-1997 AND RECORDED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON 3-04-1997 IN BOOK DB-5579 PG 288.
 - DEED BETWEEN ROBERT C. NEARY FUNERAL HOME; AND QUINN ASSOCIATES, DATED 3-09-1995 AND RECORDED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON 3-16-1995 IN BOOK DB-5394 PG 806.
 - MAP ENTITLED: "SURVEY OF PROPERTY, ROBERT C. NEARY, 39 SOUTH STREET" PREPARED BY JAMES S. VAN NUYS, PE DATED 10-31-1964.
 - MAP ENTITLED: "IMPROVEMENT PLAN OF PROPERTY, ROBERT C. NEARY, 39 SOUTH STREET" PREPARED BY HOWARD C. BIRDSALL PE/PLS DATED 9-09-1966.
 - MAP ENTITLED: "PLAN OF PROPOSED STORM DRAINAGE, ROBERT C. NEARY, 39 SOUTH STREET" PREPARED BY HOWARD C. BIRDSALL PE/PLS DATED 9-09-1966.
 - DEED OF DRAINAGE EASEMENT BETWEEN ROBERT C. NEARY FUNERAL HOME; AND BOROUGH OF MANASQUAN DATED 10-06-1966 AND RECORDED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON 10-07-1966 IN BOOK DB-3492 PG 631.
 - DEED OF JOINT DRIVEWAY AGREEMENT BETWEEN ALLIE M. BUCKLEW; AND GLADYS & JOSEPH CAPIORIANO DATED 9-05-1922 AND RECORDED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON 10-06-1922 IN BOOK DB-1198 PG 221.
 - FILED MAP ENTITLED: "PROPERTY OF CAPT GEO BAILEY, MANASQUAN N.J." RECORDED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON 12-08-1898 IN CASE No. 50-4.
 - AS TO ADJACENT LOTS 4.01 AND 3.01 IN BLOCK 23 - FILED MAP ENTITLED: "MINOR SUBDIVISION OF LOTS 3, 4 BLOCK 23" PREPARED BY GEORGE W. EDWARDS PLS, DATED 2-11-1987 AND RECORDED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON 5-19-1987 IN CASE No. 217-17.
 - AS TO ADJACENT LOTS 2 AND 3 IN BLOCK 24 - DEED BETWEEN FRANK & SUZANNE MILLARD; AND JOHN & SARA JANE MILLARD DATED 8-01-2003 AND RECORDED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON 9-19-2003 IN BOOK OR-8279 PG 7729.
 - TAX ASSESSMENT MAPS FOR BOROUGH OF MANASQUAN SHEET 4 DATED 1934-REV. THROUGH 4-30-1994; AND SHEETS 3 AND 12 DATED 10-2001 AND REV. THROUGH 12-2017.
 - TITLE BINDER DOCUMENTS SUPPLIED BY SURETY TITLE COMPANY, LLC, FILE No. 119247CD-01 DATED 2-24-2021.

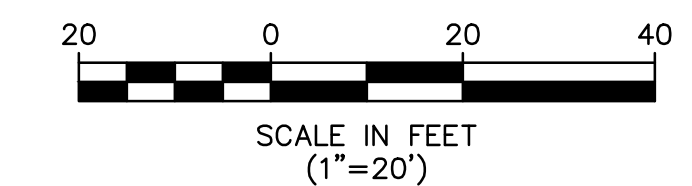
- ### GENERAL NOTES
- SUBJECT PROPERTY IS KNOWN AS LOTS 7.02 AND 10 IN BLOCK 23 AS SHOWN ON SHEET 3 OF THE CURRENT MUNICIPAL TAX MAP FOR MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY. TOTAL TRACT AREA = 34,777 SF = 0.798 AC. AREA OF LOT 7.02 = 27,503 SF = 0.631 AC. AREA OF LOT 10 = 7,274 SF = 0.167 AC.
 - OFFSET DISTANCES SHOWN FROM BUILDINGS TO TRACT BOUNDARIES SHALL NOT BE USED TO RE-ESTABLISH PROPERTY LINES.
 - UNDERGROUND UTILITY LINES AND/OR ENCROACHMENTS, IF ANY, ARE SCHEMATIC REPRESENTATIONS, ONLY.
 - THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO MAKE ANY DETERMINATION AS TO THE EXISTENCE OR NON-EXISTENCE OF FRESHWATER WETLANDS AND/OR TOXIC WASTES. NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE, WITH REGARD TO THE PRESENCE OR ABSENCE OF FRESHWATER WETLANDS AND/OR TOXIC WASTES. CLIENT IS ADVISED TO PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS SURVEY.
 - ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCH MARK REFERENCE: NGS PID No. KV0827 ELEV.=19.61 FT (NAVD88)

SURVEY CERTIFICATION:

CERTIFIED TO: OCEAN BAY DEVELOPERS, LLC (PURCHASERS); AND SURETY TITLE COMPANY, LLC; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY, THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR FOR THE ABOVE NAMED PURCHASERS, ONLY.

THIS IS TO CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS MAP OR PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED ON MARCH 19, 2021 BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS". THE INFORMATION DEPICTED HEREON, REPRESENTS THE CONDITIONS FOUND AT THE SITE, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY BELOW THE SURFACE AND NOT VISIBLE. ACCORDINGLY THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES, IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED.

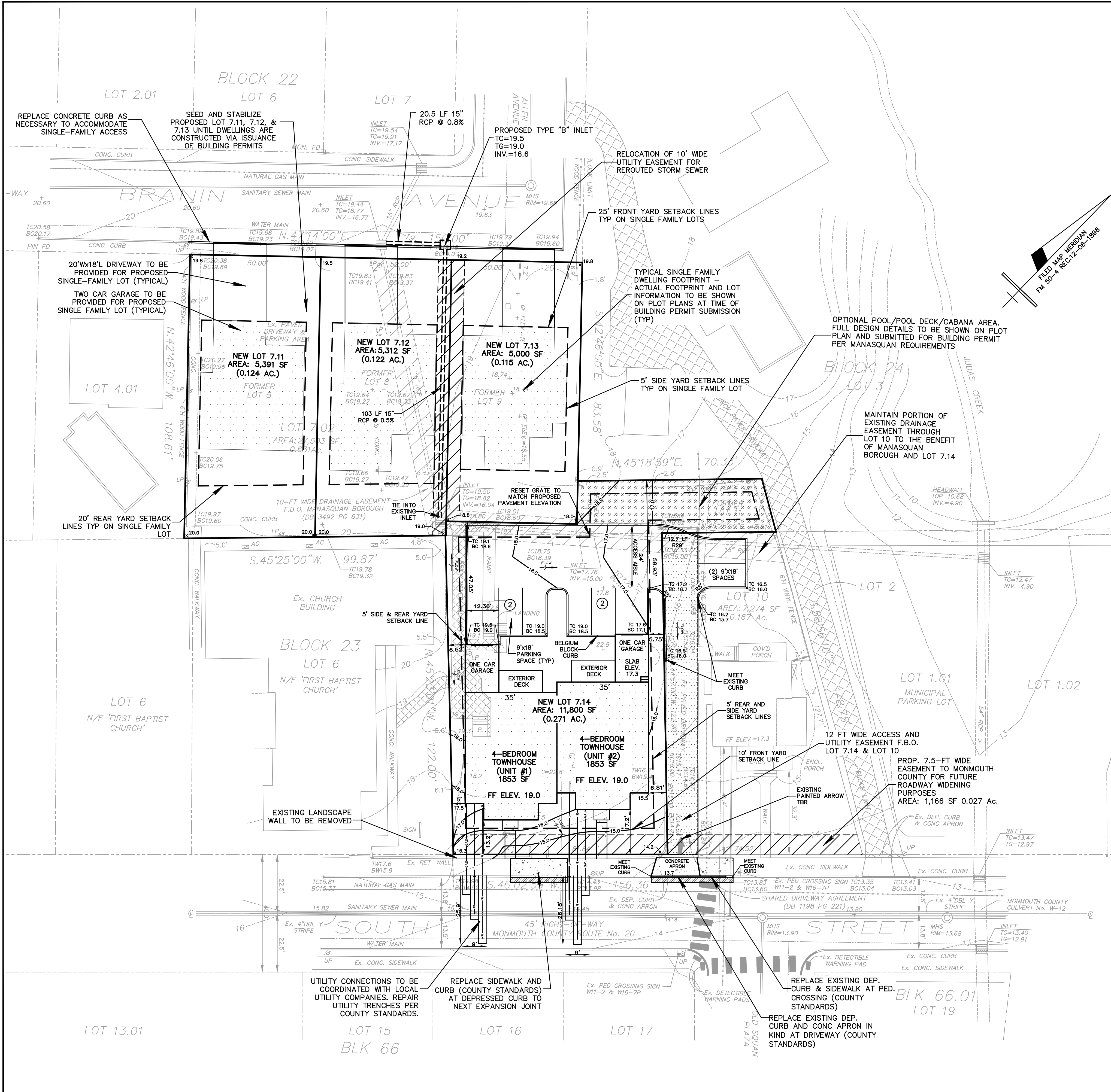
THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS THAT ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION, AND BELIEF, AND IN ACCORDANCE WITH COMMONLY ACCEPTED PROCEDURES, CONSISTENT WITH APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.



1	4-11-22	UPDATE INFORMATION PER COUNTY 1-24-22 REVIEW	RAM	ARS
No.	DATE	REVISION	BY	CHK
TOPOGRAPHIC MAP OF EXISTING CONDITIONS				SCALE: AS SHOWN
				DATE: 12/08/2021
				DRAWN BY: ARS
				CHECKED BY: ARS
				SHEET No. 3 OF 8
				PROJECT NUMBER 814-13

PRELIMINARY/FINAL SUBDIVISION & SITE PLAN **Scope Engineering inc.**
 Consulting Engineers
 CERTIFICATE No. 246A28103200
 P.O. BOX 899
 FORKED RIVER, NJ 08731
 PHONE: 609-971-0700
 FAX: 609-971-0772

BLOCK 23 LOT 7.02 & LOT 10
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY
 (City Tax Map Sheet No. 3)



GENERAL NOTES

1. APPLICANT/CONTRACT PURCHASER: OCEAN BAY DEVELOPERS, LLC, 1065 ROUTE 22, BRIDGEWATER, NJ 08807
2. SUBJECT PROPERTY IS KNOWN AS LOTS 7.02 AND 10 IN BLOCK 23 AS SHOWN ON SHEET 3 OF THE CURRENT MUNICIPAL TAX MAP FOR MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY. TOTAL TRACT AREA = 34,777 SF = 0.798 Ac. AREA OF LOT 7.02 = 27,503 SF = 0.631 Ac. AREA OF LOT 10 = 7,274 SF = 0.167 Ac.
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4. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCH MARK REFERENCE: NGS PID NO. KV0827 ELEV.=19.61 FT (NAVD88).

GRADING & UTILITY NOTES

1. ALL CONTRACTORS MUST CALL THE NEW JERSEY ONE CALL SYSTEM (800-272-1000) IN ACCORDANCE WITH THE UNDERGROUND FACILITIES CONTROL ACT LAW PRIOR TO ANY SUBSURFACE ACTIVITY.
2. CONTRACTOR SHALL REVIEW MEP/ARCHITECTURAL PLANS AND CONFIRM ALL UTILITY CONNECTIONS. ALL UTILITY CONNECTIONS SHALL BE REVIEWED & VERIFIED BY THE CONTRACTOR PRIOR TO START OF SITE CONSTRUCTION. FINISHED FLOOR ELEVATIONS, ADJACENT GRADE ELEVATIONS, DOORWAY LOCATIONS SHALL ALSO BE REVIEWED AND VERIFIED BY THE CONTRACTOR WITH ANY DISCREPANCIES TO BE IDENTIFIED TO ARCHITECT AND ENGINEER.
3. ALL UTILITY CONNECTIONS AND RELOCATIONS SHOWN ARE SCHEMATIC. THE CONTRACTOR SHALL COORDINATE ELECTRIC SERVICE REQUIREMENTS AND METERING WITH APPROPRIATE UTILITY SERVICE COMPANIES AND ARCHITECT TO PROVIDE THE MOST APPROPRIATE LOCATIONS AND SIZES FOR CONNECTIONS.
4. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH N.J.DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. ALL SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
5. ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM TO ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND TO CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR, INCLUDING TRAFFIC CONTROL MEASURES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
6. SIDEWALK SLOPES SHALL NOT EXCEED A 5% RUNNING OR 2% CROSS SLOPE.
7. LANDSCAPED AREAS SHALL BE GRADED AT A MINIMUM SLOPE OF 2% BUT SHALL NOT BE GREATER THAN 3:1 WITH POSITIVE DRAINAGE TO BE PROVIDED AWAY FROM ALL BUILDINGS.
8. ALL CURB SHALL BE CONCRETE OR BELGIUM BLOCK WITH A 6" REVEAL.
9. ALL PAVEMENT AREAS SHALL HAVE A MINIMUM SLOPE OF 1% UNLESS OTHERWISE NOTED.
10. ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE SHALL BE SEEDED OR OTHERWISE STABILIZED IN ACCORDANCE WITH SOIL EROSION CONTROL SPECIFICATION SET FORTH IN THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION, REVISED JULY 2017.

GARBAGE & TRASH COLLECTION

1. EACH UNIT WILL STORE TRASH WITHIN THEIR GARAGE AND PUT TRASH BARRELS ON CURB FOR MUNICIPAL PICK UP ON DESIGNATED COLLECTION DAYS.

ZONING SCHEDULE - BUSINESS "B-1" ZONE

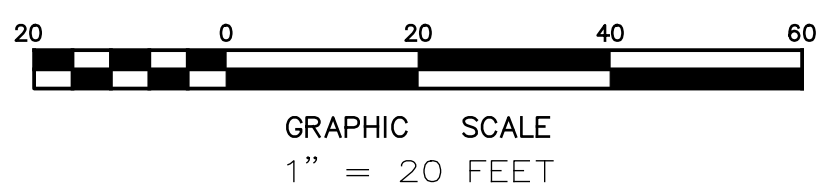
REQUIREMENT	REQUIRED	EXISTING (7.02)	LOT 7.11	LOT 7.12	LOT 7.13	LOT 7.14
PERMITTED USE	BUSINESS/RETAIL	BUSINESS/RETAIL	RESIDENTIAL (V)	RESIDENTIAL (V)	RESIDENTIAL (V)	RESIDENTIAL (V)
MIN LOT AREA	5,000 SF	27,503 SF	5,391 SF	5,312 SF	5,000 SF	11,800 SF
MIN LOT FRONTAGE	30 LF	81.84 LF	50 LF	50 LF	50 LF	81.84 LF
MIN FRONT YARD SETBACK	10 LF	27.8 LF	25 LF*	25 LF*	25 LF*	13.2 LF
MIN SIDE YARD SETBACK	3 LF	3.2 LF	5 LF*	5 LF*	5 LF*	5 LF
MIN COMBINED SIDE SETBACK	7 LF	9.3 LF	10 LF*	10 LF*	10 LF*	10.8 LF
MIN REAR YARD	5 LF	34.35 LF	20 LF*	20 LF*	20 LF*	47.1 LF
MAX PRINCIPAL BLDG. HEIGHT	40 LF (3-STORIES)	< 40 LF	35 LF* (2.5 STORIES)	35 LF* (2.5 STORIES)	35 LF* (2.5 STORIES)	< 40 LF
MAX BUILDING COVERAGE	40 %	24 %	30%*	30%*	30%*	31 %
MAX LOT COVERAGE	60 %	81 %	45%*	45%*	45%*	75 % (V)**
TOTAL NUM. OF DWELLING UNITS	N/A	N/A	1 DU	1 DU	1 DU	2 UNITS
MAXIMUM DU/ACRE	N/A	N/A	N/A	N/A	N/A	7.4 DU/Ac

* - ZONING INFORMATION WITH FINAL HOME FOOTPRINTS TO BE PROVIDED ON PLOT PLANS AT TIME OF BUILDING PERMIT SUBMISSION. TYPICAL SINGLE FAMILY HOME SCHEMATIC SHOWN ON SITE PLAN.
 ** - 15% ALLOWANCE INCLUDED FOR OPTIONAL POOL/POOL DECK/CABANA AND MISC. STRUCTURES (AC UNITS ETC.)
 NOTE: MAX COMBINED LOT COVERAGE LOTS 7.11-7.14 = 58%
 (V) - VARIANCE REQUESTED

PARKING CALCULATION

OFF-STREET PARKING:	REQUIRED	LOT 7.11	LOT 7.12	LOT 7.13	LOT 7.14
TOTAL # OF TOWNHOMES	—	—	*	*	2 DU
TOTAL # OF SINGLE FAMILY	—	1 DU	1 DU	1 DU	—
SPACES (TOWNHOMES)***	2/DU (2.5/DU RSIS)*2 DU = 4 SPACES (5)	—	—	—	8 SPACES
SPACES (SINGLE FAMILY)***	2/DU (2.5/DU RSIS)*1 DU = 2 SPACES (2.5)	3.5 SPACES	3.5 SPACES	3.5 SPACES	—
SIZE OF PARKING SPACE	9'x19'L	—	—	—	9'x18' (W)
GUEST PARKING TOWNHOMES****	0.5/DU*2 DU = 1 SPACE	—	—	—	3 SPACES

***RSIS REQUIREMENTS CALCULATED FOR 4-BEDROOM UNIT
 ****PER RSIS 0.5 ADDITIONAL SPACES FOR EACH DWELLING UNIT SHALL BE PROVIDED FOR GUEST PARKING
 (W) DESIGN WAIVER REQUESTED



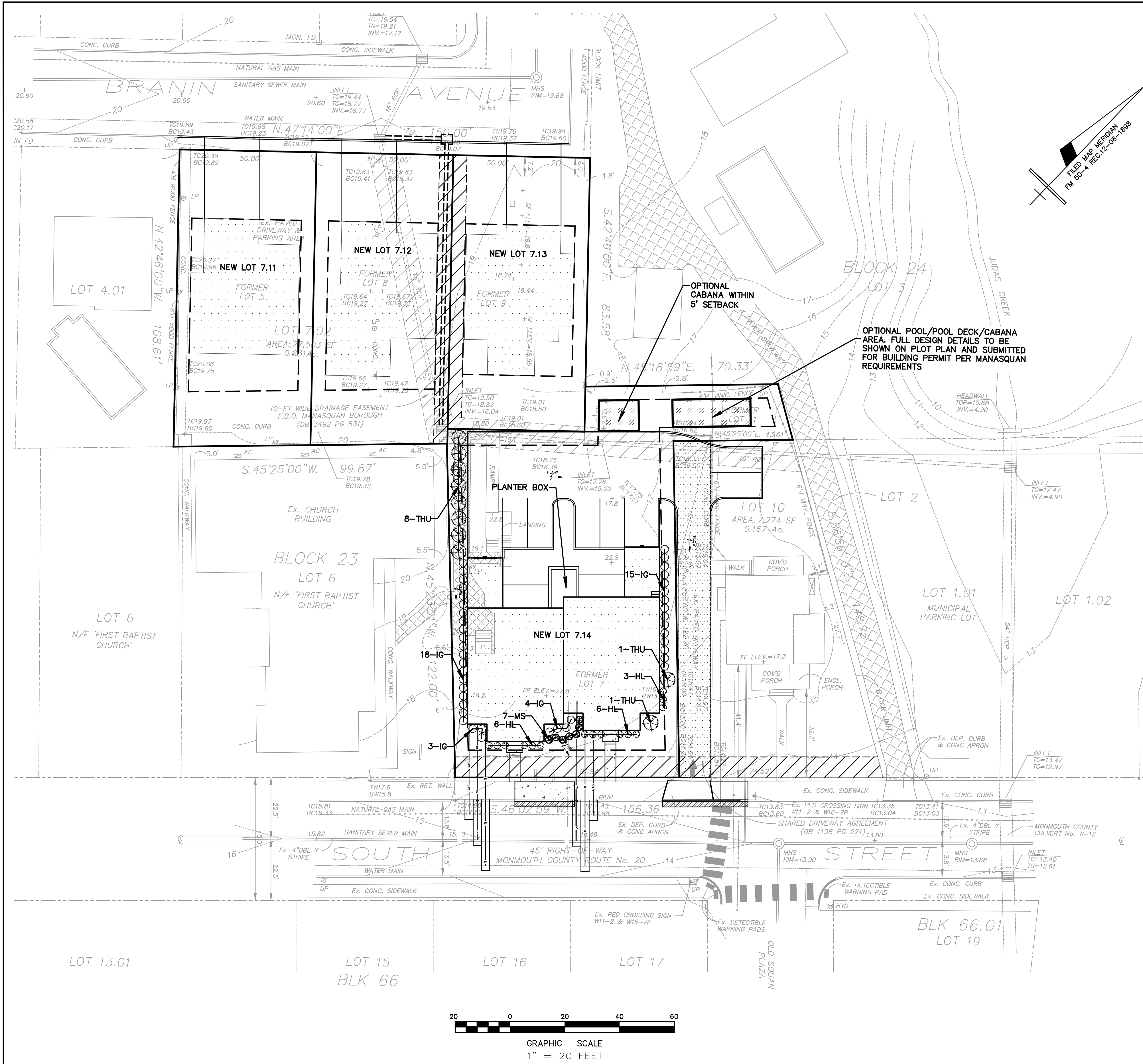
PRELIMINARY/FINAL SUBDIVISION & SITE PLAN
BLOCK 23, LOTS 7.02 & 10
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

Scope Engineering inc.
 Consulting Engineers
 CERTIFICATE No. 24GA28103200
 P.O. BOX 899
 FORKED RIVER, NJ 08731
 PHONE: 609-971-0700
 FAX: 609-971-0772

SITE PLAN

SCALE: AS SHOWN
 DATE: 12/06/2021
 DRAWN BY: R.A.M.
 CHECKED BY: M.R.M.
 SHEET NO. 4 OF 8
 PROJECT NUMBER: 814-13

Matthew R. Martin 12/06/21
MATTHEW R. MARTIN, P.E.
 PROFESSIONAL ENGINEER
 N.J. Lic No. 04416500



GENERAL NOTES

1. APPLICANT/CONTRACT PURCHASER
OCEAN BAY DEVELOPERS, LLC
1065 ROUTE 22
BRIDGEWATER, NJ 08807
2. SUBJECT PROPERTY IS KNOWN AS LOTS 7.02 AND 10 IN BLOCK 23 AS SHOWN ON SHEET 3 OF THE CURRENT MUNICIPAL TAX MAP FOR MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY. TOTAL TRACT AREA = 34,777 SF = 0.798 AC. AREA OF LOT 7.02 = 27,503 SF = 0.631 AC. AREA OF LOT 10 = 7,274 SF = 0.167 AC.
3. BOUNDARY, TOPOGRAPHIC INFORMATION AND EXISTING CONDITIONS SHOWN BASED UPON MAP ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF PROPERTY FOR; OCEAN BAY DEVELOPERS, LLC; BLOCK 23, LOTS 7.02 & 10, TAX MAP SHEET No. 3; MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY EASTERN CIVIL ENGINEERING, LLC, REVISION DATED 4/11/22.
4. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCH MARK REFERENCE: NGS PID NO. KV0827 ELEV.=19.61 FT (NAVD88).

LANDSCAPING NOTES

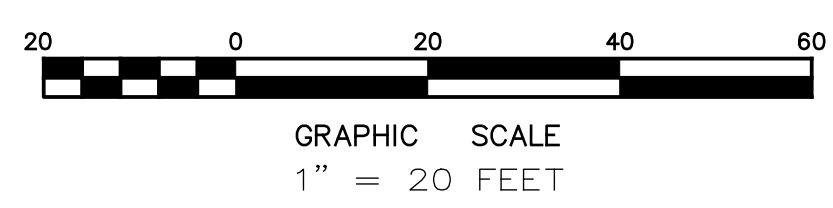
1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS, AS SPECIFIED, AND IN QUANTITIES INDICATED ON THE PLANT LIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADES, ALIGNMENT, AND TO THE INDICATED LAYOUT OF PLANTING BEDS.
6. REQUIRED LANDSCAPING SHALL BE MAINTAINED AND NOT ALLOWED TO FALL INTO DISREPAIR. THE OWNER, ITS SUCCESSORS AND/OR ASSIGNS, SHALL MAINTAIN VEGETATION PLANTED IN ACCORDANCE WITH THE APPROVED SITE PLAN. A DEVELOPER SHALL BE REQUIRED TO REPLACE DEAD OR DYING PLANT MATERIAL FOR A PERIOD OF TWO YEARS FROM THE DATE OF ISSUANCE OF A FINAL ZONING PERMIT FOR OCCUPANCY AND SHALL POST A MAINTENANCE GUARANTEE FOR SUCH. IF PLANT MATERIAL IS DEAD OR DYING DURING A PLANTING SEASON, IT SHALL BE REPLACED DURING THE SAME SEASON. IF PLANT MATERIAL IS DEAD OR DYING DURING A NON-PLANTING SEASON, IT SHALL BE REPLACED AS SOON AS IS REASONABLY POSSIBLE AT THE START OF THE NEXT PLANTING SEASON.
4. ALL LANDSCAPING SHALL BE SUBJECT TO A POST-DEVELOPMENT INSPECTION BY THE PLANNING BOARD ENGINEER.
5. THE PLANNING BOARD SHALL HAVE THE RIGHT TO IMPOSE ADDITIONAL LANDSCAPING REQUIREMENTS AFTER DUE CONSIDERATION OF THE SIZE AND TYPE OF THE PROPOSED DEVELOPMENT, THE EXTENT OF VEGETATION TO BE REMOVED DURING CONSTRUCTION, AND THE NATURE OF SURROUNDING LAND USE.
6. ALL PLANTS SHALL BE NURSERY GROWN AND IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION.
7. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
8. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE AND INSECT PESTS, EGGS OR LARVAE. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS.
9. SUBSTITUTIONS: WHEN PLANTS OF A SPECIFIED KIND OR SIZE ARE NOT AVAILABLE WITHIN A REASONABLE DISTANCE, SUBSTITUTIONS MAY BE MADE UPON REQUEST BY THE CONTRACTOR, IF APPROVED BY THE OWNER OR HIS REPRESENTATIVE.
10. MEASUREMENT: DIMENSIONS OF TREES AND SHRUBS SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION.
11. SIZE: ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED ON THE PLANT LIST, UNLESS AUTHORIZED IN WRITING BY THE OWNER OR HIS REPRESENTATIVE.
12. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH, OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
13. ROOT BALLS OF ALL PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM THE SUN AND DRYING WINDS OR FROST.
14. OWNER OR HIS REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.
15. MULCH: IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED ALL TREES AND SHRUB PLANTING PITS SHALL BE COVERED WITH A FOUR INCH (4 INCH) LAYER OF LICORICE ROOT OR OTHER MATERIAL APPROVED BY THE OWNER OR HIS REPRESENTATIVE. THE LIMIT OF THIS MULCH FOR DECIDUOUS TREES AND SINGLE EVERGREEN TREES SHALL BE THE AREA OF THE PIT; FOR EVERGREEN TREE CLUSTERS, A MULCH BED SHALL BE CREATED.
16. PLANTING SOIL OF 50% TOP SOIL AND 50% PEAT MOSS SHALL BE MIXED WITH EXISTING SOIL AT A RATE OF 1/3 PLANTING SOIL AND 2/3 EXISTING SOIL.
17. ALL REQUIRED PLANT MATERIAL SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF A USE AND OCCUPANCY PERMIT.
18. ALL PLANTING BEDS SHOULD BE FREE AND CLEAR OF WEEDS PRIOR TO INSTALLATION OF MULCH.
19. SEED ALL DISTURBED AREAS.
20. SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. SINGLE STEM TREES WITHIN SIGHT TRIANGLES SHALL BE PRUNED OF ALL LOWER BRANCHES TO A MINIMUM HEIGHT OF SEVEN FEET.

LIGHTING NOTES

21. AUTOMATIC FLOOD LIGHTS TO BE PLACED ABOVE GARAGE DOORS.

PLANTING SCHEDULE

TREE LEGEND			
BOTANICAL/COMMON NAME	ABBREVIATION	SIZE	QTY.
THUJ OCCIDENTALIS 'GREEN GIANT' GREEN GIANT ARBORVITAE	THU	6'-7'	10
ILEX GALABRA 'SHAMROCK' INKBERRY	IG	2.5'-3' HT	40
MISCANTHUS SINESIS 'MORNING LIGHT' EULALIA GRASS	MS	3 GAL	7
HYDRANGEA PANICULATA 'LITTLE LIME' LITTLE HYDRANGEA LIME	HL	3 GAL	15



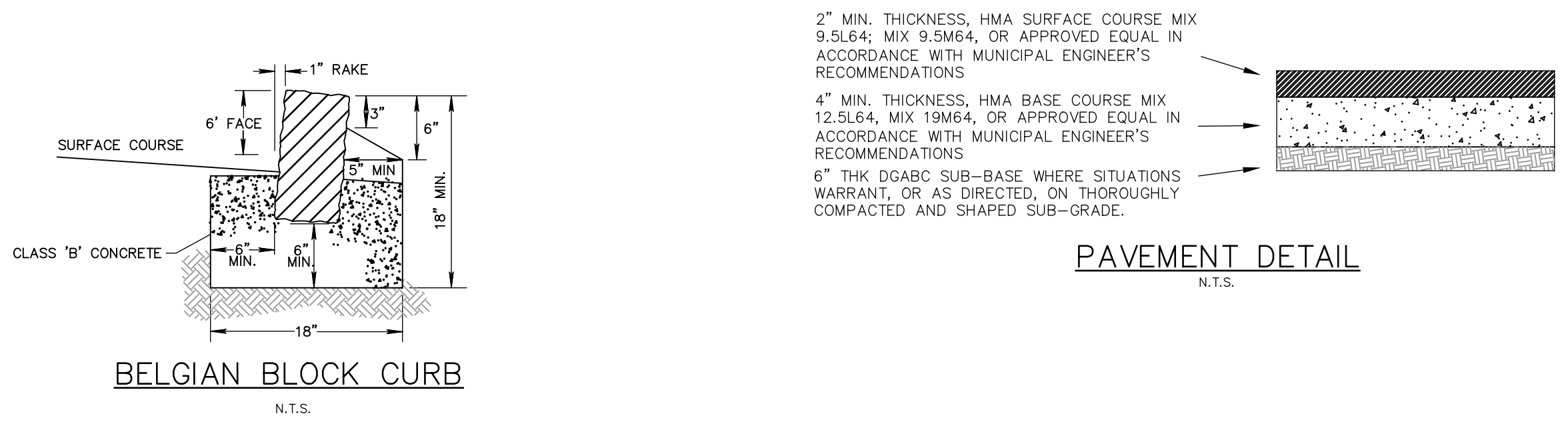
PRELIMINARY/FINAL SUBDIVISION & SITE PLAN

BLOCK 23, LOT 7.02 & 10
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

Scope Engineering inc.

Consulting Engineers
CERTIFICATE No. 24GA28103200
P.O. BOX 899
FORKED RIVER, NJ 08731
PHONE: 609-971-0700
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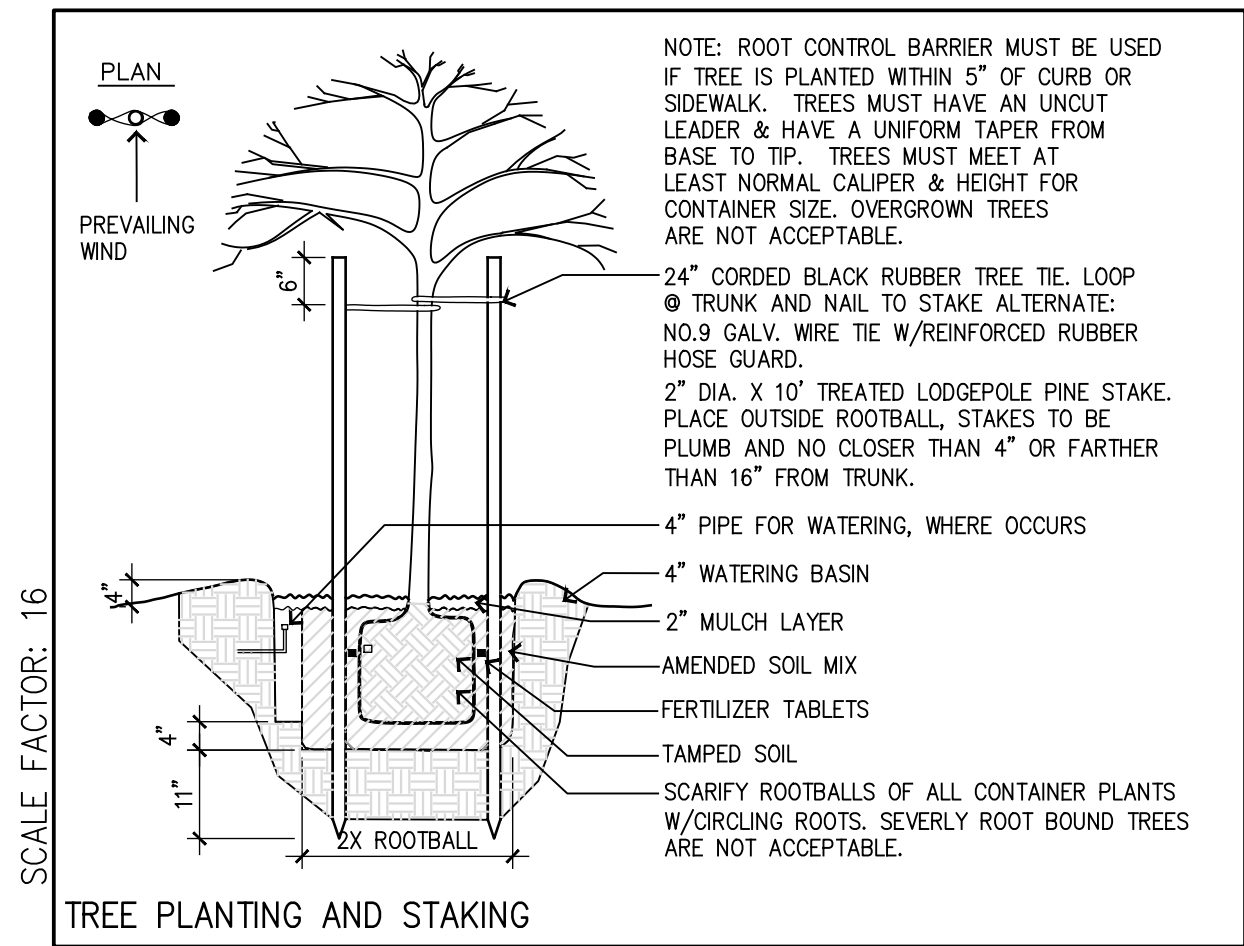
REVISION		SCALE: AS SHOWN
1	4/11/22 UPDATE PER CO. 1.24.22 REVIEW	DATE: 12/06/2021
No.	DATE	CHECKED BY: M.R.M.
LANDSCAPE & LIGHTING PLAN		SHEET NO. 5 OF 8
 MATTHEW R. MARTIN, P.E. PROFESSIONAL ENGINEER N.J. Lic No. 04416500		PROJECT NUMBER 814-13



2" MIN. THICKNESS, HMA SURFACE COURSE MIX 9.5L64; MIX 9.5M64, OR APPROVED EQUAL IN ACCORDANCE WITH MUNICIPAL ENGINEER'S RECOMMENDATIONS

4" MIN. THICKNESS, HMA BASE COURSE MIX 12.5L64, MIX 19M64, OR APPROVED EQUAL IN ACCORDANCE WITH MUNICIPAL ENGINEER'S RECOMMENDATIONS

6" THK DGABC SUB-BASE WHERE SITUATIONS WARRANT, OR AS DIRECTED, ON THOROUGHLY COMPACTED AND SHAPED SUB-GRADE.



NOTE: ROOT CONTROL BARRIER MUST BE USED IF TREE IS PLANTED WITHIN 5" OF CURB OR SIDEWALK. TREES MUST HAVE AN UNCOIT LEADER & HAVE A UNIFORM TAPER FROM BASE TO TIP. TREES MUST MEET AT LEAST NORMAL CALIPER & HEIGHT FOR CONTAINER SIZE. OVERGROWN TREES ARE NOT ACCEPTABLE.

24" CORDED BLACK RUBBER TREE TIE LOOP @ TRUNK AND NAIL TO STAKE ALTERNATE: NO.9 GALV. WIRE TIE W/REINFORCED RUBBER HOSE GUARD.

2" DIA. X 10' TREATED LODGEPOLE PINE STAKE. PLACE OUTSIDE ROOTBALL, STAKES TO BE PLUMB AND NO CLOSER THAN 4" OR FARTHER THAN 16" FROM TRUNK.

4" PIPE FOR WATERING, WHERE OCCURS

4" WATERING BASIN

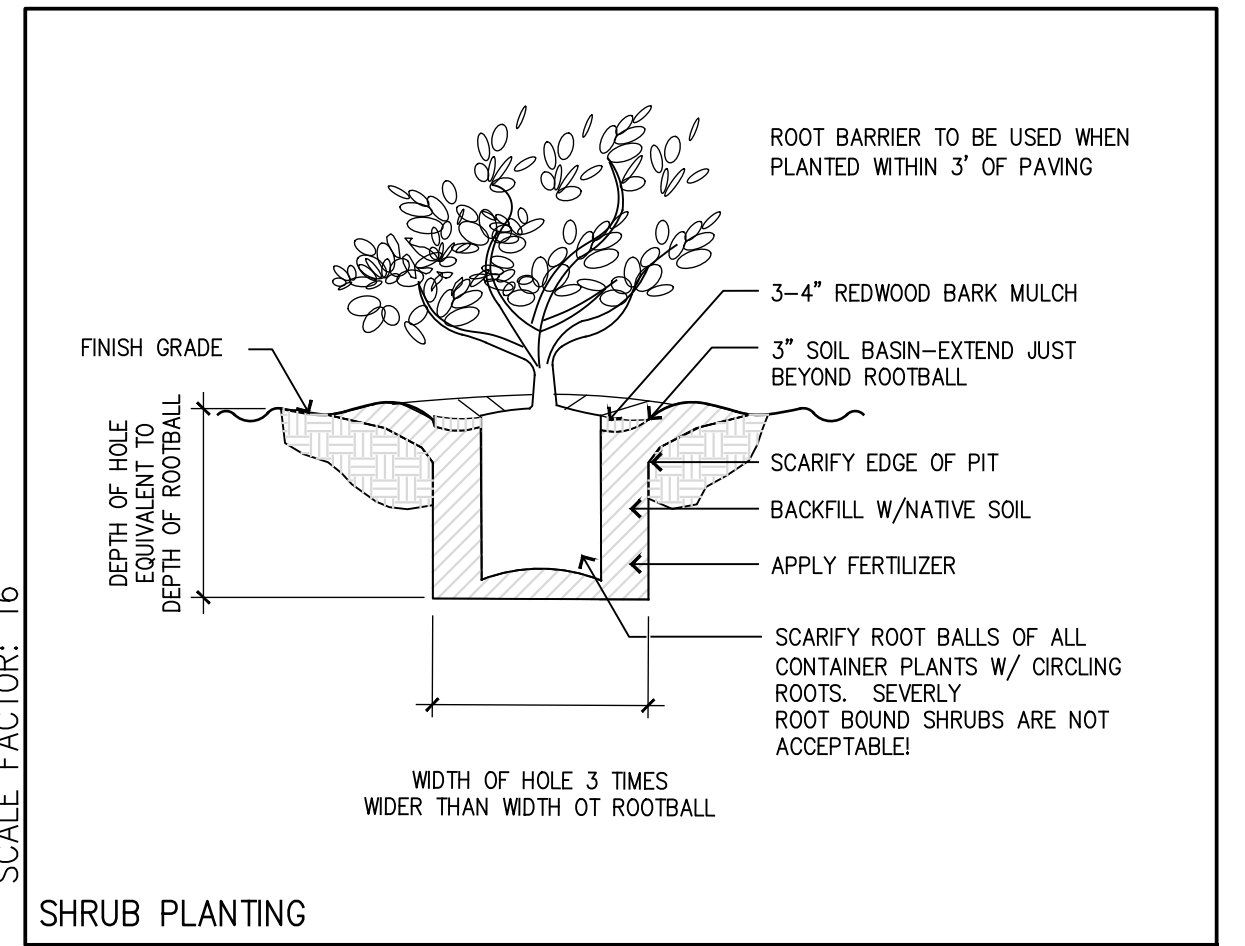
2" MULCH LAYER

AMENDED SOIL MIX

FERTILIZER TABLETS

TAMPED SOIL

SCARIFY ROOTBALLS OF ALL CONTAINER PLANTS W/CIRCLING ROOTS. SEVERELY ROOT BOUND TREES ARE NOT ACCEPTABLE.



ROOT BARRIER TO BE USED WHEN PLANTED WITHIN 3' OF PAVING

3-4" REDWOOD BARK MULCH

3" SOIL BASIN-EXTEND JUST BEYOND ROOTBALL

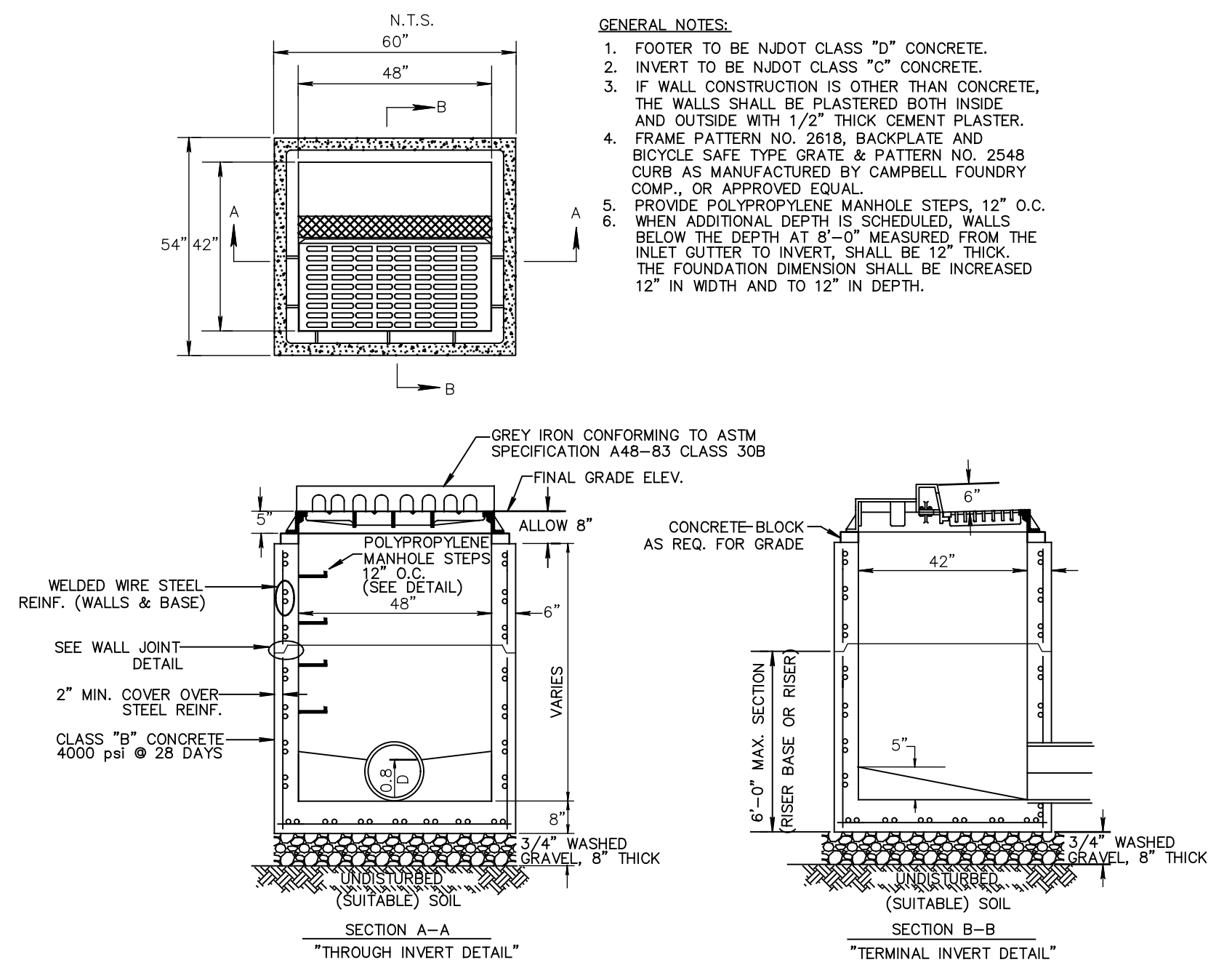
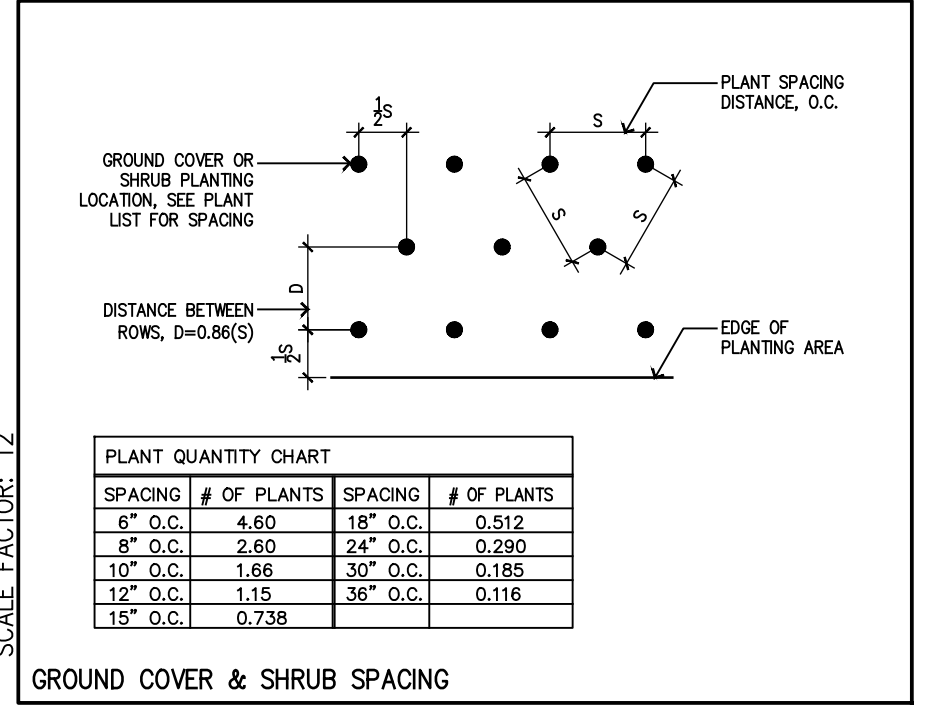
SCARIFY EDGE OF PIT

BACKFILL W/NATIVE SOIL

APPLY FERTILIZER

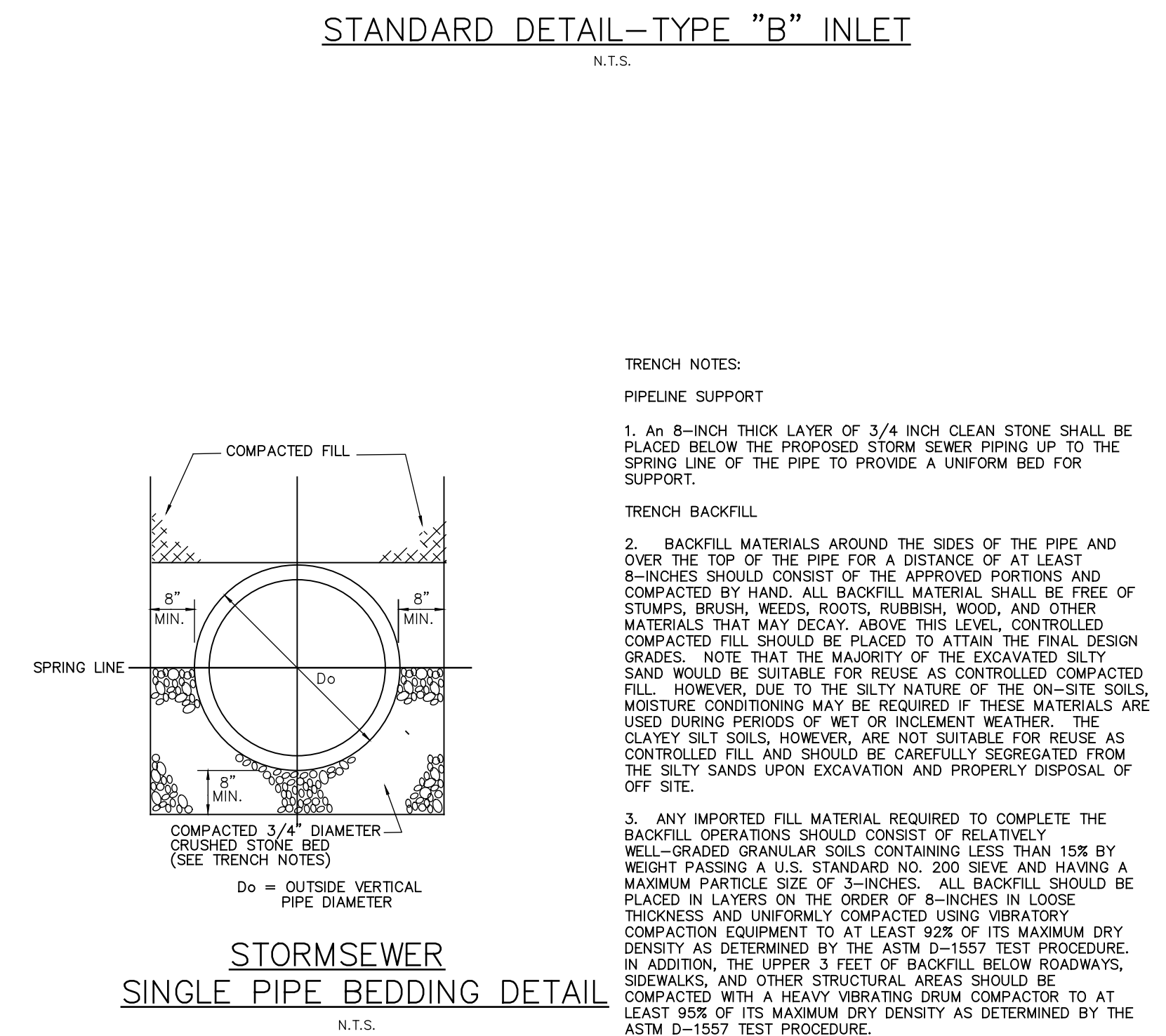
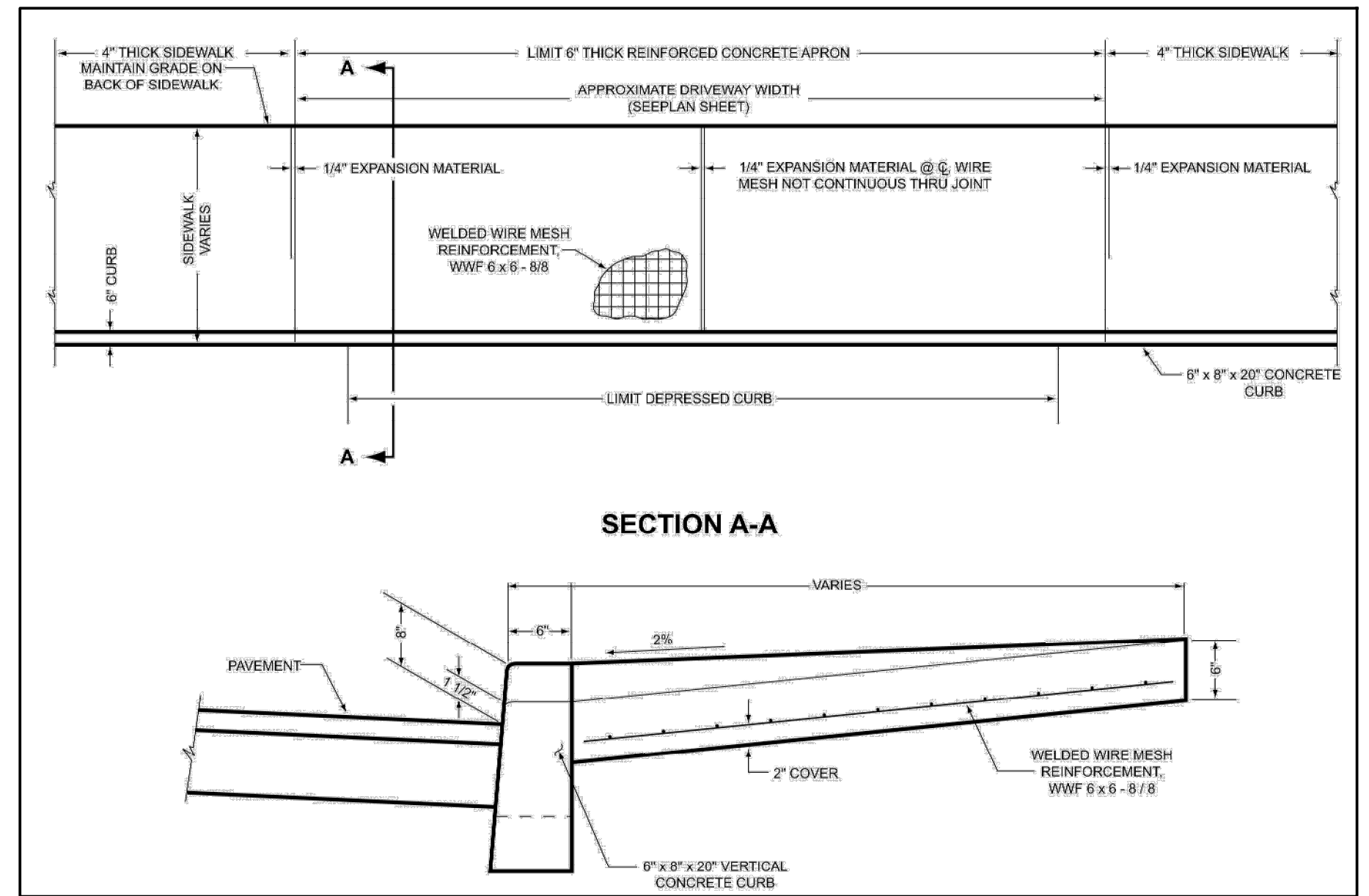
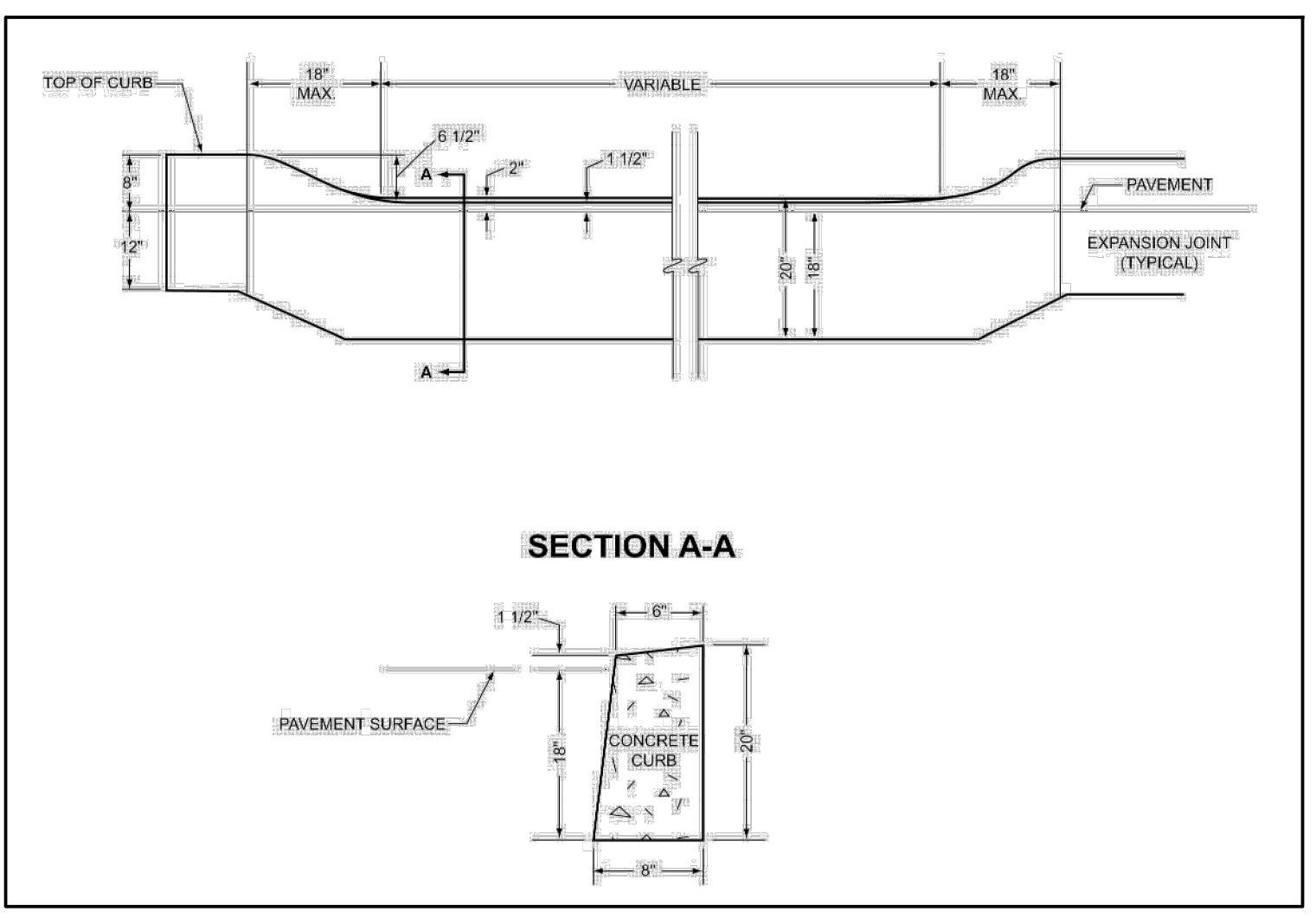
SCARIFY ROOT BALLS OF ALL CONTAINER PLANTS W/ CIRCLING ROOTS. SEVERELY ROOT BOUND SHRUBS ARE NOT ACCEPTABLE!

WIDTH OF HOLE 3 TIMES WIDER THAN WIDTH OF ROOTBALL



GENERAL NOTES:

- FOOTER TO BE NJDOT CLASS "D" CONCRETE.
- INVERT TO BE NJDOT CLASS "C" CONCRETE.
- IF WALL CONSTRUCTION IS OTHER THAN CONCRETE, THE WALLS SHALL BE PLASTERED BOTH INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT PLASTER.
- FRAME PATTERN NO. 2018; BACKPLATE AND BICYCLE SAFE TYPE GRATE & PATTERN NO. 2548 CURB AS MANUFACTURED BY CAMPBELL FOUNDRY COMP., OR APPROVED EQUAL.
- PROVIDE POLYPROPYLENE MANHOLE STEPS, 12" O.C.
- WHEN ADDITIONAL DEPTH IS SCHEDULED, WALLS BELOW THE DEPTH AT 8'-0" MEASURED FROM THE INLET OUTLET TO INVERT, SHALL BE 12" THICK. THE FOUNDATION DIMENSION SHALL BE INCREASED 12" IN WIDTH AND TO 12" IN DEPTH.



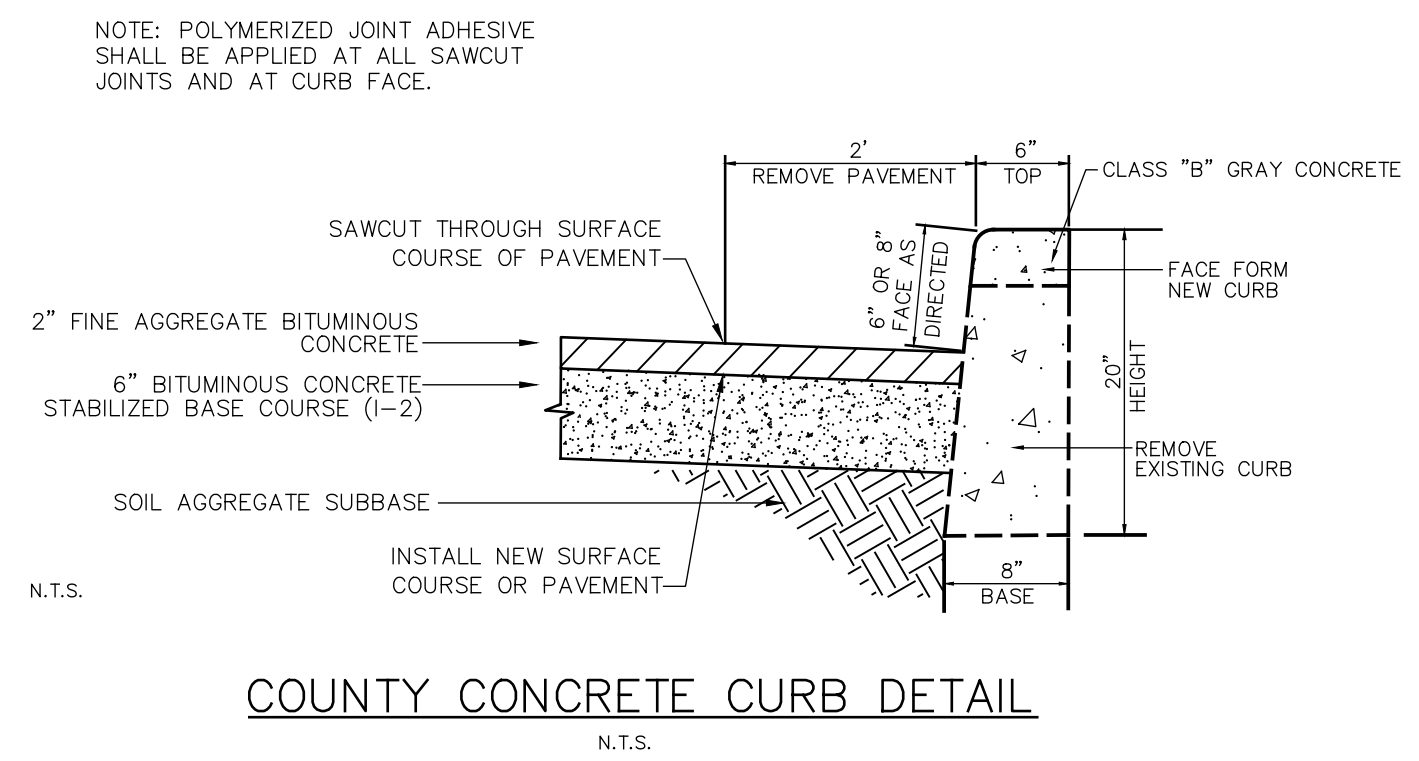
TRENCH NOTES:

PIPELINE SUPPORT

- An 8-INCH THICK LAYER OF 3/4 INCH CLEAN STONE SHALL BE PLACED BELOW THE PROPOSED STORM SEWER PIPING UP TO THE SPRING LINE OF THE PIPE TO PROVIDE A UNIFORM BED FOR SUPPORT.

TRENCH BACKFILL

- BACKFILL MATERIALS AROUND THE SIDES OF THE PIPE AND OVER THE TOP OF THE PIPE FOR A DISTANCE OF AT LEAST 8-INCHES SHOULD CONSIST OF THE APPROVED PORTIONS AND COMPACTED BY HAND. ALL BACKFILL MATERIAL SHALL BE FREE OF STUMPS, BRUSH, WEEDS, ROOTS, RUBBISH, WOOD, AND OTHER MATERIALS THAT MAY DECAY. ABOVE THIS LEVEL, CONTROLLED COMPACTED FILL SHOULD BE PLACED TO ATTAIN THE FINAL DESIGN GRADES. NOTE THAT THE MAJORITY OF THE EXCAVATED SILTY SAND WOULD BE SUITABLE FOR REUSE AS CONTROLLED COMPACTED FILL. HOWEVER, DUE TO THE SILTY NATURE OF THE ON-SITE SOILS, MOISTURE CONDITIONING MAY BE REQUIRED IF THESE MATERIALS ARE USED DURING PERIODS OF WET OR INCLEMENT WEATHER. THE CLAYEY SILT SOILS, HOWEVER, ARE NOT SUITABLE FOR REUSE AS CONTROLLED FILL AND SHOULD BE CAREFULLY SEGREGATED FROM THE SILTY SANDS UPON EXCAVATION AND PROPERLY DISPOSAL OF OFF SITE.
- ANY IMPORTED FILL MATERIAL REQUIRED TO COMPLETE THE BACKFILL OPERATIONS SHOULD CONSIST OF RELATIVELY WELL-GRADED GRANULAR SOILS CONTAINING LESS THAN 15% BY WEIGHT PASSING A U.S. STANDARD NO. 200 SIEVE AND HAVING A MAXIMUM PARTICLE SIZE OF 3-INCHES. ALL BACKFILL SHOULD BE PLACED IN LAYERS ON THE ORDER OF 8-INCHES IN LOOSE THICKNESS AND UNIFORMLY COMPACTED USING VIBRATORY COMPACTION EQUIPMENT TO AT LEAST 92% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D-1557 TEST PROCEDURE. IN ADDITION, THE UPPER 3 FEET OF BACKFILL BELOW ROADWAYS, SIDEWALKS, AND OTHER STRUCTURAL AREAS SHOULD BE COMPACTED WITH A HEAVY VIBRATING DRUM COMPACTOR TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D-1557 TEST PROCEDURE.



NOTE: POLYMERIZED JOINT ADHESIVE SHALL BE APPLIED AT ALL SAWCUT JOINTS AND AT CURB FACE.

REMOVE PAVEMENT

SAWCUT THROUGH SURFACE COURSE OF PAVEMENT

2" FINE AGGREGATE BITUMINOUS CONCRETE

6" BITUMINOUS CONCRETE STABILIZED BASE COURSE (1-2)

SOIL AGGREGATE SUBBASE

INSTALL NEW SURFACE COURSE OR PAVEMENT

REMOVE EXISTING CURB

CLASS "B" GRAY CONCRETE

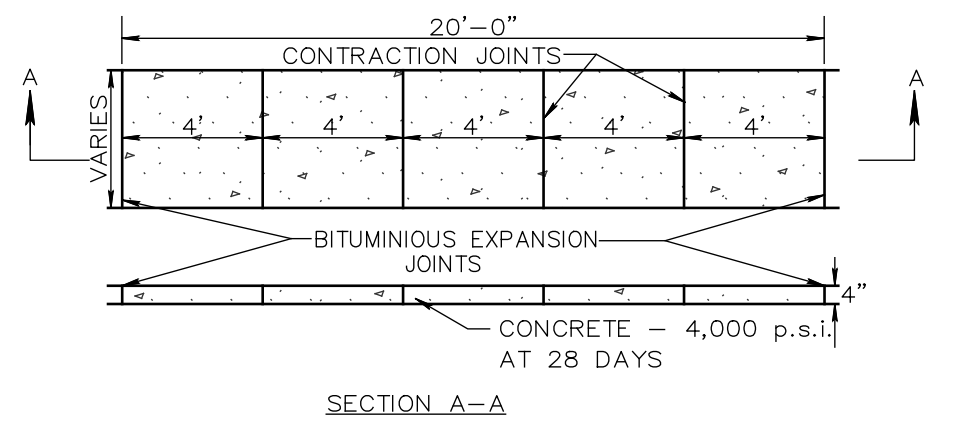
FACE FORM NEW CURB

8" OR 8" FACE AS DIRECTED

8" HEIGHT

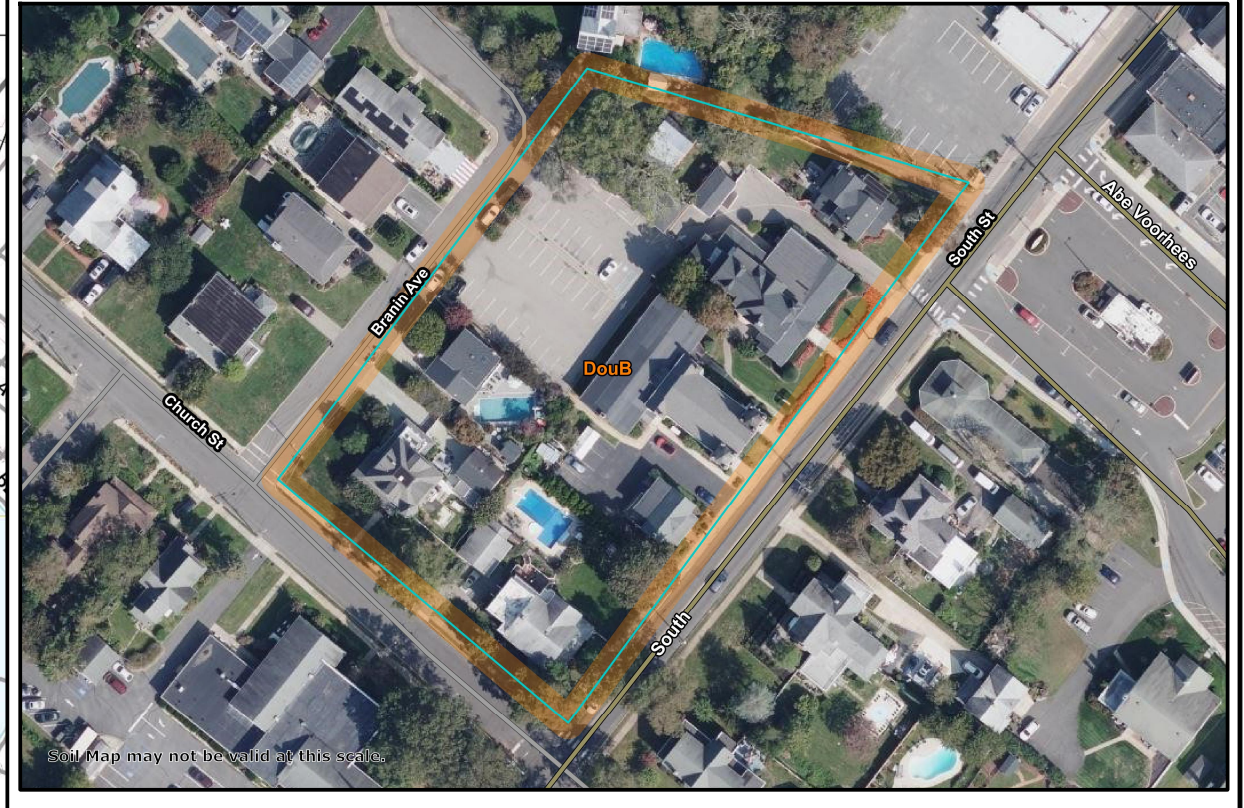
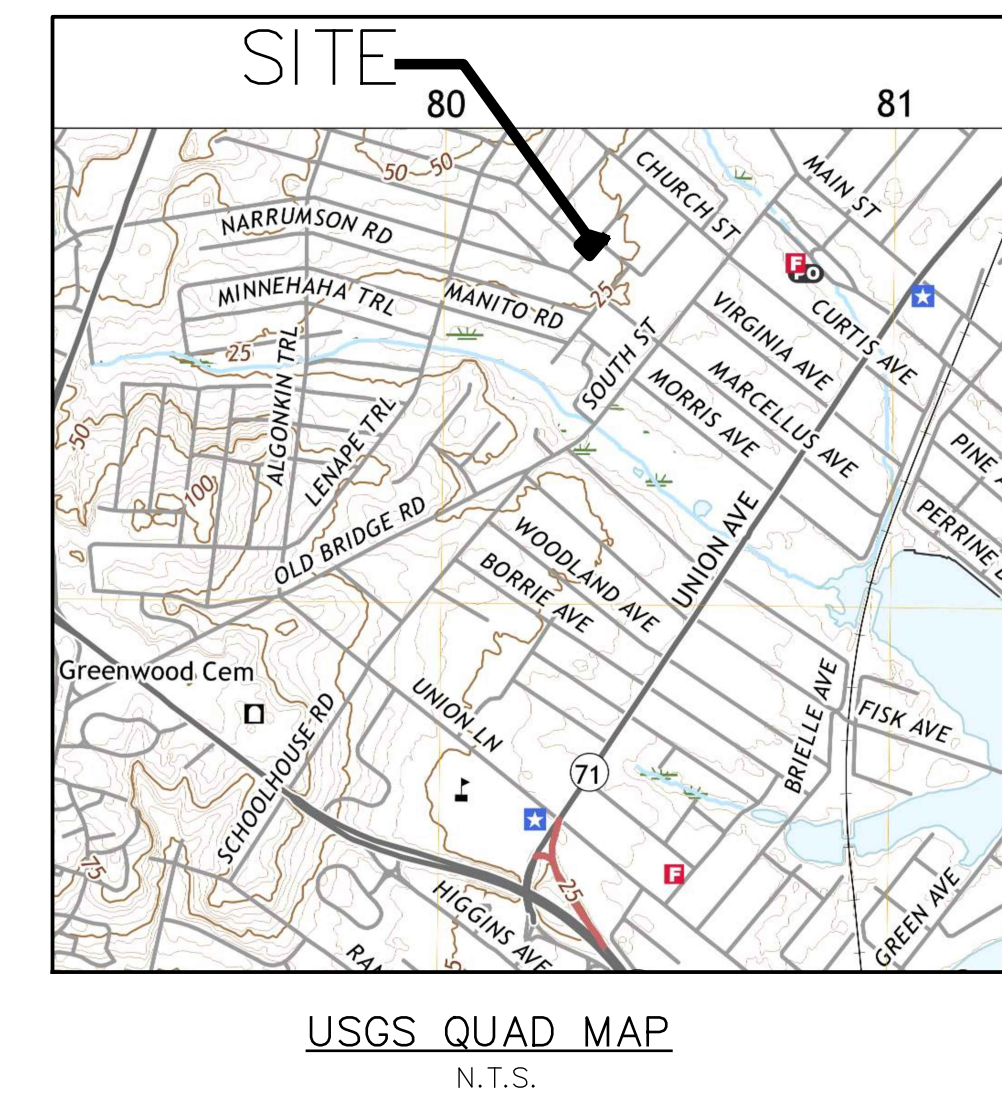
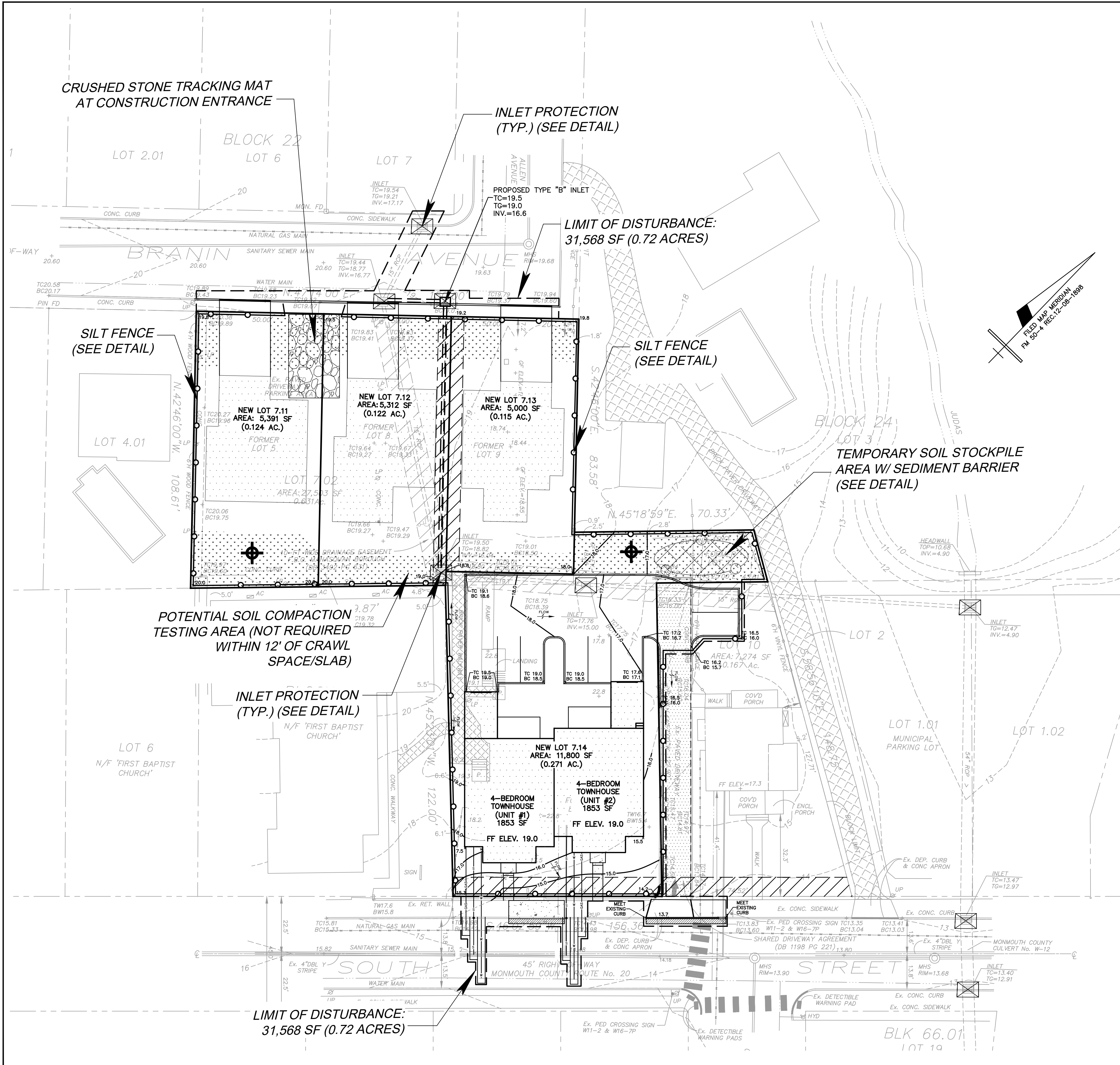
REMOVE EXISTING CURB

8" BASE



- A PREFORMED, BITUMINOUS JOINT 1/2" THICK, 4" WIDE AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY 20'. CONTRACTION JOINTS SHALL BE INSTALLED EVERY 4' THE FULL WALK WIDTH.
- THERE SHALL BE A FLOAT FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.
- SIDEWALK SHALL HAVE A 2% CROSS-SLOPE.

PRELIMINARY/FINAL SUBDIVISION & SITE PLAN		Scope Engineering inc. Consulting Engineers CERTIFICATE No. 24GA28103200 P.O. BOX 899 FORKED RIVER, NJ 08731 PHONE: 609-971-0700 FAX: 609-971-0772		CONSTRUCTION DETAILS	
BLOCK 23, LOT 7.02 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY		DATE: 12/06/2021 DRAWN BY: R.A.M. CHECKED BY: M.R.M. SHEET NO. 6 OF 8 PROJECT NUMBER 814-13		SCALE: AS SHOWN	
		DATE: 12/06/21 MATTHEW R. MARTIN, P.E. PROFESSIONAL ENGINEER N.J. Lic No. 04416500		REVISION	
				1 4/11/22 UPDATE PER CO. 1.24.22 REVIEW RAM MRM	

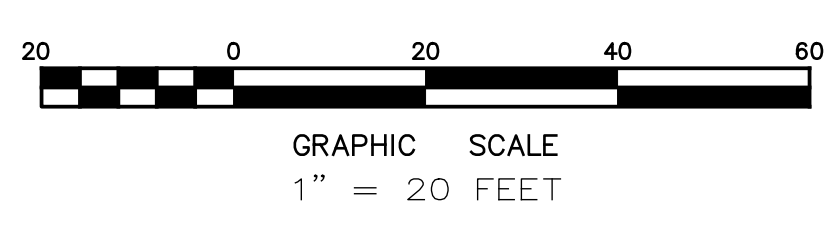
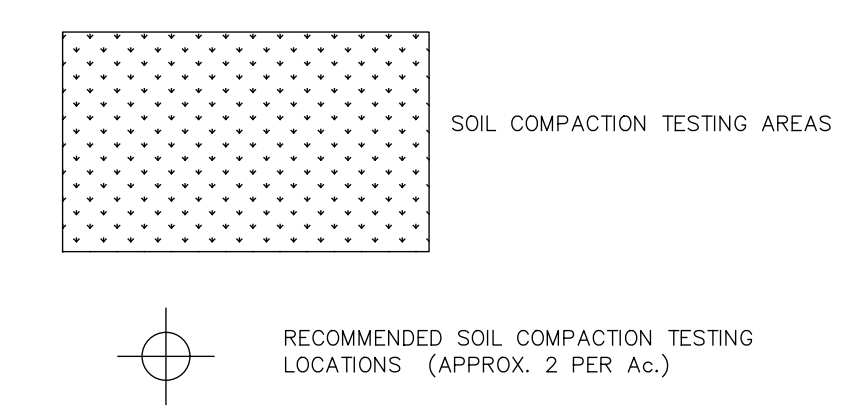


CONSTRUCTION SEQUENCE

CONSTRUCTION SEQUENCE	ACTIVITY DURATION
1. NOTIFY THE FREEHOLD SOIL CONSERVATION DISTRICT IN WRITING AT LEAST 72 HOURS PRIOR TO ANY PROJECT PRE-CONSTRUCTION MEETING OR SITE DISTURBANCES.	IMMEDIATELY
2. PROPOSED SITE IMPROVEMENTS SHALL ONLY BE STARTED AFTER RECEIVING SITE PLAN APPROVAL FROM THE REGULATORY AGENCIES HAVING JURISDICTION AND CERTIFICATION OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN FROM THE FREEHOLD SOIL CONSERVATION DISTRICT.	---
3. INSTALL STABILIZED CONSTRUCTION ENTRANCES IMMEDIATELY AFTER INITIAL DISTURBANCE (SITE TRAFFIC SHOULD USE ONLY THESE AREAS FOR INGRESS & EGRESS).	1 WEEK
4. INSTALL SILT FENCE AND BARRIERS, EQUIP ALL EXISTING CATCH BASINS WITH FILTER FABRIC INLET PROTECTION IMMEDIATELY UPON START OF CONSTRUCTION.	2 WEEKS
5. CONSTRUCT STOCK PILE AND STABILIZE.	---
6. ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL IMPROVEMENTS TO THE SITE ARE COMPLETE, THE PARKING AND DRIVEWAY AREAS ARE PAVED, AND THE VEGETATIVE COVER IS 70% OR GREATER IN NON-PAVED AREAS.	---
7. COMPLETE DEMOLITION OF SITE FEATURES.	2 MONTHS
8. COMPLETE CONSTRUCTION OF ROUGH GRADING AND STORMWATER IMPROVEMENTS.	6 MONTHS
9. AFTER STORMWATER IMPROVEMENTS AND CATCH BASINS ARE CONSTRUCTED, PLACE INLET PROTECTION ON EACH CATCH BASIN WHICH WILL REMAIN UNTIL THE SITE IS PAVED.	---
10. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30-DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR THE EQUIVALENT MATERIAL IN ACCORDANCE WITH THE STATE STANDARD.	---
11. COMPLETE BELOW-GRADE UTILITIES AND FOUNDATION.	3 MONTHS
12. BUILDING CONSTRUCTION.	8 MONTHS
13. FINAL SITE GRADING, CURB, ASPHALT PAVING, AND SIDEWALK INSTALLATION.	2 MONTHS
14. ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL PERMANENT IMPROVEMENTS TO THE SITE ARE COMPLETE AND ALL SURFACE PAVED & STABILIZED, AS PROPOSED.	---
15. LANDSCAPE ALL APPROPRIATE AREAS AS INDICATED ON THE LANDSCAPE PLAN AND REMOVE 1 MONTH ALL TEMPORARY SEDIMENT CONTROL STRUCTURES AND MEASURES. PERMANENTLY STABILIZE ALL AREAS.	1 MONTH
16. CLEAN ALL SITE DRAINAGE STRUCTURES AND PIPES OF SILT AND DEBRIS. DOWNSTREAM/OFF-SITE DRAINAGE FACILITIES SHALL BE INSPECTED AND CLEANED OF SITE DEBRIS RESULTING FROM FROM SITE CONSTRUCTION PRIOR TO FINAL TURNOVER.	2 WEEKS
17. NOTIFY THE FREEHOLD SOIL CONSERVATION DISTRICT AT THE COMPLETION OF CONSTRUCTION.	---

GENERAL NOTES

- APPLICANT/CONTRACT PURCHASER: OCEAN BAY DEVELOPERS, LLC, 1065 ROUTE 22, BRIDGEWATER, NJ 08807
- SUBJECT PROPERTY IS KNOWN AS LOTS 7.02 AND 10 IN BLOCK 23 AS SHOWN ON SHEET 3 OF THE CURRENT MUNICIPAL TAX MAP FOR MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY. TOTAL TRACT AREA = 34,777 SF = 0.798 Ac. AREA OF LOT 7.02 = 27,503 SF = 0.631 Ac. AREA OF LOT 10 = 7,274 SF = 0.167 Ac.
- BOUNDARY, TOPOGRAPHIC INFORMATION AND EXISTING CONDITIONS SHOWN BASED UPON MAP ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF PROPERTY FOR: OCEAN BAY DEVELOPERS, LLC, BLOCK 23, LOTS 7.02 & 10, TAX MAP SHEET No. 3; MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY EASTERN CIVIL ENGINEERING, LLC, REVISION DATED 4/11/22.
- ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCH MARK REFERENCE: NGS PID No. Kv0827 ELEV.=19.61 FT (NAVD88).
- PER THE FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 34025C04566 EFFECTIVE DATE SEPTEMBER 25, 2009 AND PER PRELIMINARY FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 34025C04566, DATED JANUARY 31, 2014, THE PROPERTY IS PARTIALLY LOCATED WITHIN A FLOOD ZONE (ZONE X).
- BASED ON NJDEP GEOWEB REVIEW ON 11/1/2021, NO WETLANDS OR WETLAND TRANSITION AREAS EXIST ON SITE.
- THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN. ALL CONTRACTORS MUST CALL THE NEW JERSEY ONE CALL SYSTEM (1-800-272-1000) TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DEMOLITION, CONSTRUCTION, ABANDONMENT, SOILS INVESTIGATION, AND/OR EXCAVATIONS.
- ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM TO ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND TO CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. ALL SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



PRELIMINARY/FINAL SUBDIVISION & SITE PLAN

BLOCK 23, LOTS 7.02 & 10

BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY
(City Tax Map Sheet No. 3)

Scope Engineering inc.
Consulting Engineers
CERTIFICATE No. 246A28103200
P.O. BOX 899
FORKED RIVER, NJ 08731
PHONE: 609-971-0700
FAX: 609-971-0772

No.	DATE	REVISION	BY	CHK
1	4/11/22	PER INITIAL APPLICATION REVIEW LETTER DATED 01/24/2022	RAM	MRM

SOIL EROSION SEDIMENT CONTROL PLAN

SCALE: AS SHOWN
DATE: 12/06/21
DRAWN BY: R.A.M.
CHECKED BY: M.R.M.
SHEET NO. 7 OF 8
PROJECT NUMBER: 814-13

MATTHEW R. MARTIN, P.E.
PROFESSIONAL ENGINEER
N.J. Lic No. 04416500

12/06/21 DATE

THIS PLAN TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY

FREEHOLD SOIL CONSERVATION NOTES

1. THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
4. N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUIVALENT, AND A MULCH ANCHOR, ACCORDING TO STATE STANDARDS.
7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATIONS OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1"-2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A pH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 450LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A pH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
14. UNFILTERED Dewatering IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL Dewatering OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY Dewatering METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR Dewatering.
15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
17. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

FREEHOLD SOIL CONSERVATION DISTRICT
4000 KOZLOSKI ROAD, FREEHOLD, NJ 07728-5033, (732) 683-8500, FAX (732) 683-9140,
EMAIL: info@freeholdscd.org.

STANDARD FOR STABILIZATION WITH MULCH ONLY

- SITE PREPARATION**
- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PAGE 19.1.
 - B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

- PROTECTIVE MATERIALS**
- A. UNROTTED SMALL GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS OR NETTING TIEDOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED - UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER OR HYDROMULCHING.
 - D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED.
 - E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED.
 - F. GRAVEL, CRUSHED STONE OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.

- MULCH ANCHORING**
- A. MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW TO MINIMIZE LOSS BY WIND OR WATER. IT MUST BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES
 - B. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - C. MULCH NETTING - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.
 - D. MULCH ANCHORING TOOL - A TRACTOR DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THE PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT IT'S USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. TOOL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON SLOPING LAND, THE OPERATION SHOULD BE DONE ON THE CONTOUR.

- LIQUID MULCH-BINDERS**
- A. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
- USE ONE OF THE FOLLOWING:
- A. ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.
 - B. SYNTHETIC OR ORGANIC BINDERS - BINDERS SUCH AS CURASOL, DCA-70, PETRO-SET AND TERRA TACK MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A
 - C. RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

DUST CONTROL NOTE

1. DUST GENERATION SHALL BE CONTROLLED ON A CONSTANT BASIS BY WETTING THE SURFACE AND/OR APPLICATION OF CALCIUM CHLORIDE.
- NOTES:
SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURED SHALL BE USED TO ADVANCE THE WIRE.
-
- WIRE MUST PENETRATE A MINIMUM OF 6-INCHES WITHOUT DEFORMATION
- NOTE: WIRE MAY BE RE-INSERTED IF/WHEN AN OBSTRUCTION (ROCK, ROOT, DEBRIS) IS ENCOUNTERED.

PROBING WIRE TEST

N.T.S.

STANDARD FOR SEEDING SPECIFICATIONS

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION:
PERMANENT & TEMPORARY SEEDING SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY"

1. TOPSOIL TO BE PLACED TO A DEPTH OF 4 INCHES ON EXPOSED SOILS UPON COMPLETION OF FINAL GRADING.
2. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS COOPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
2. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
3. SEED IS TO BE UNIFORMLY APPLIED TO THE NORMAL DEPTH OF 1/4 INCH TO 1/2 INCH (EXCEPT HYDRO SEEDING) USING STANDARD SEED MIX 15 PER SOIL EROSION AND SEDIMENT CONTROL STANDARDS FOR NJ. THE SEEDING RATE SHALL BE:

SEED MIXTURE	PLANTING RATE	
	(LBS PER ACRE)	(LBS PER 1,000SF)
HARD FESCUE	120	2.7
PERENNIAL RYEGRASS	30	0.7
KENTUCKY BLUEGRASS BLEND	40	0.9

* OPTIMAL SEEDING DATES: 3/1-4/30 AND 8/15-10/15; ACCEPTABLE SEEDING DATES: 5/1-8/14

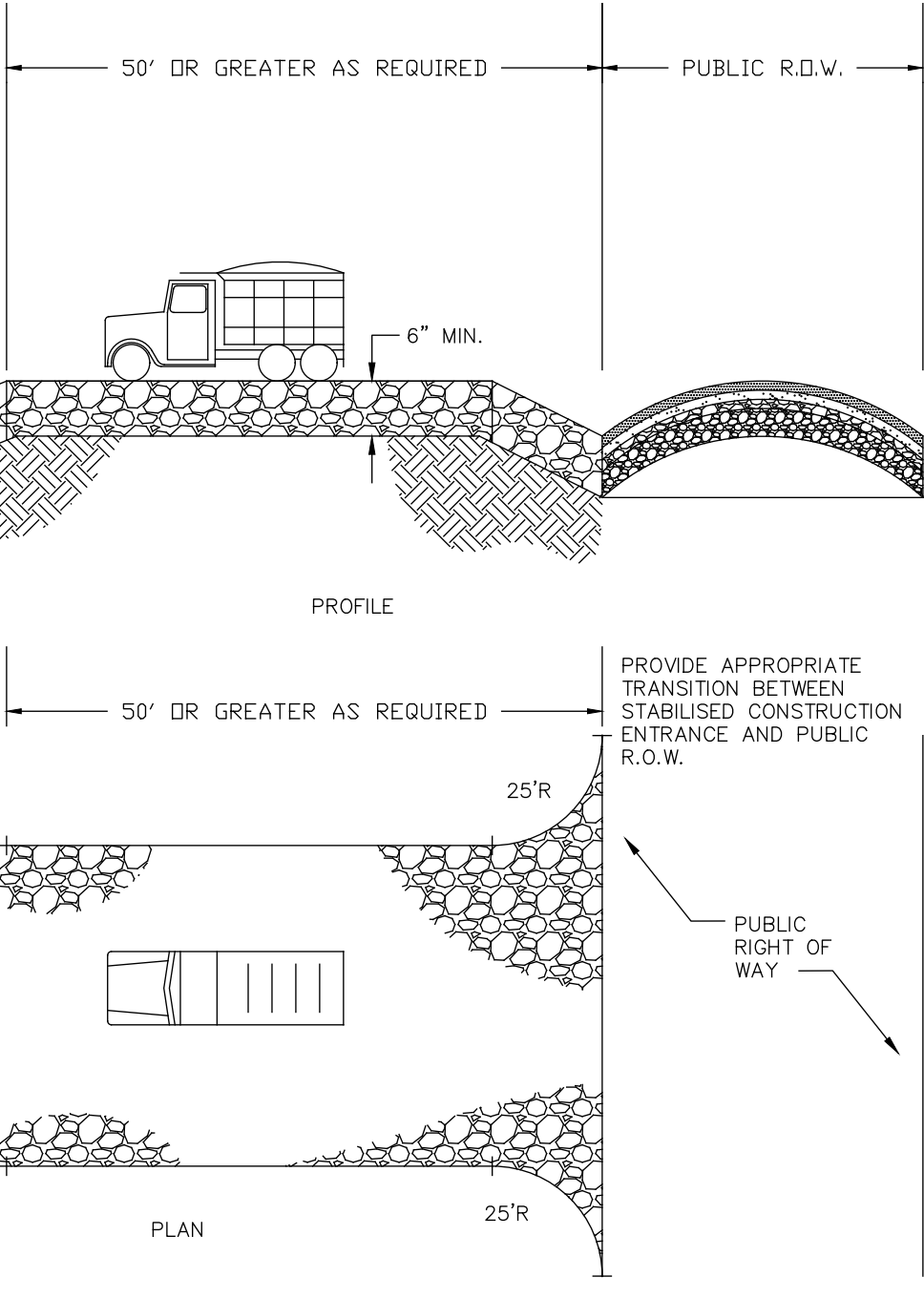
TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND SEEDED AND HAY MULCHED (OR HYDROSEEDED) UNTIL PROPER WEATHER EXISTS FOR THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. THE FOLLOWING SEEDING SCHEDULE SHALL BE USED FOR TEMPORARY SEEDING:

1. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS COOPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
2. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
3. TEMPORARY VEGETATIVE COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1.0 POUNDS PER 1,000 SQ. FT. (100 LBS/AC).
- * OPTIMUM SEEDING DATES 3/1 - 5/15 AND 8/15 - 10/1

MULCHING IS REQUIRED ON ALL SEEDING AND SHALL BE ACCOMPLISHED AS FOLLOWS:

1. MULCH MATERIALS SHOULD BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT A RATE OF 1-1/2 TO 2 TONS PER ACRE, OR 70 TO 90 POUNDS PER 1,000 SQUARE FEET. MULCH BLOWERS SHOULD NOT GRIND OR CHOP THE MATERIAL.
2. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 85 PERCENT OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FOOT SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
3. MULCH ANCHORING SHALL BE ACCOMPLISHED USING EITHER PEG AND TWINE, MULCH NETTING, MULCH ANCHORING COULTER TOOL OR LIQUID MULCH-BINDERS, PER THE ACCOMPANYING "STABILIZATION WITH MULCH ONLY" SPECIFICATION.



PERCENT SLOPE OF ROADWAY	PERCENT SLOPE OF ROADWAY	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
> 5%	ENTIRE SURFACE STABILIZED WITH FIBC BASE COURSE 1	

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.
2. 1" - 2 1/2" CLEAN CRUSHED STONE SHALL BE USED.

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

REQUIREMENTS FOR STABILIZED CONSTRUCTION ACCESS

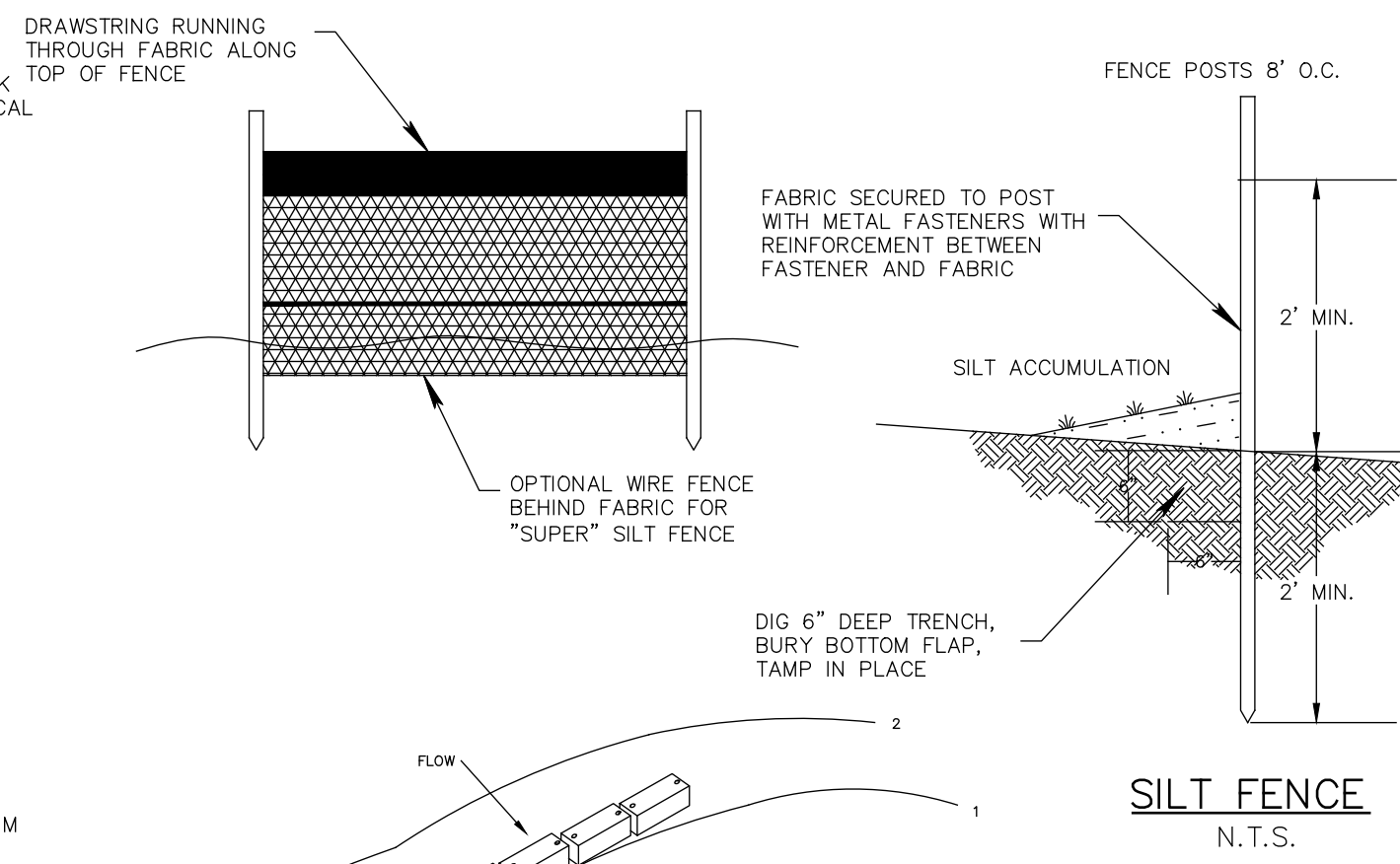
STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF NO. 3 STONE (1" TO 2") TO PREVENT OR MINIMIZE TRACKING OF SEDIMENTS. WIDTH OF THE STONE INGRESS/EGRESS SHALL BE EQUAL TO LOT ENTRANCE WIDTH AND SHALL BE A MINIMUM OF TEN FEET IN LENGTH.

MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

WHERE ACCUMULATION OF DUST/SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER WILL BE REQUIRED TO CLEAN PAVED OR IMPERVIOUS SURFACES. ALL OTHER ACCESS POINTS WHICH ARE NOT STABILIZED SHALL BE BLOCKED OFF.

FOR ADDITIONAL INFORMATION REFER SECTION 27 OF THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY", 7TH EDITION, JANUARY 2014, REVISED JULY 2017.



SILT FENCE

N.T.S.

PLACEMENT AND ANCHORING DETAIL

N.T.S.

PRELIMINARY/FINAL SUBDIVISION & SITE PLAN

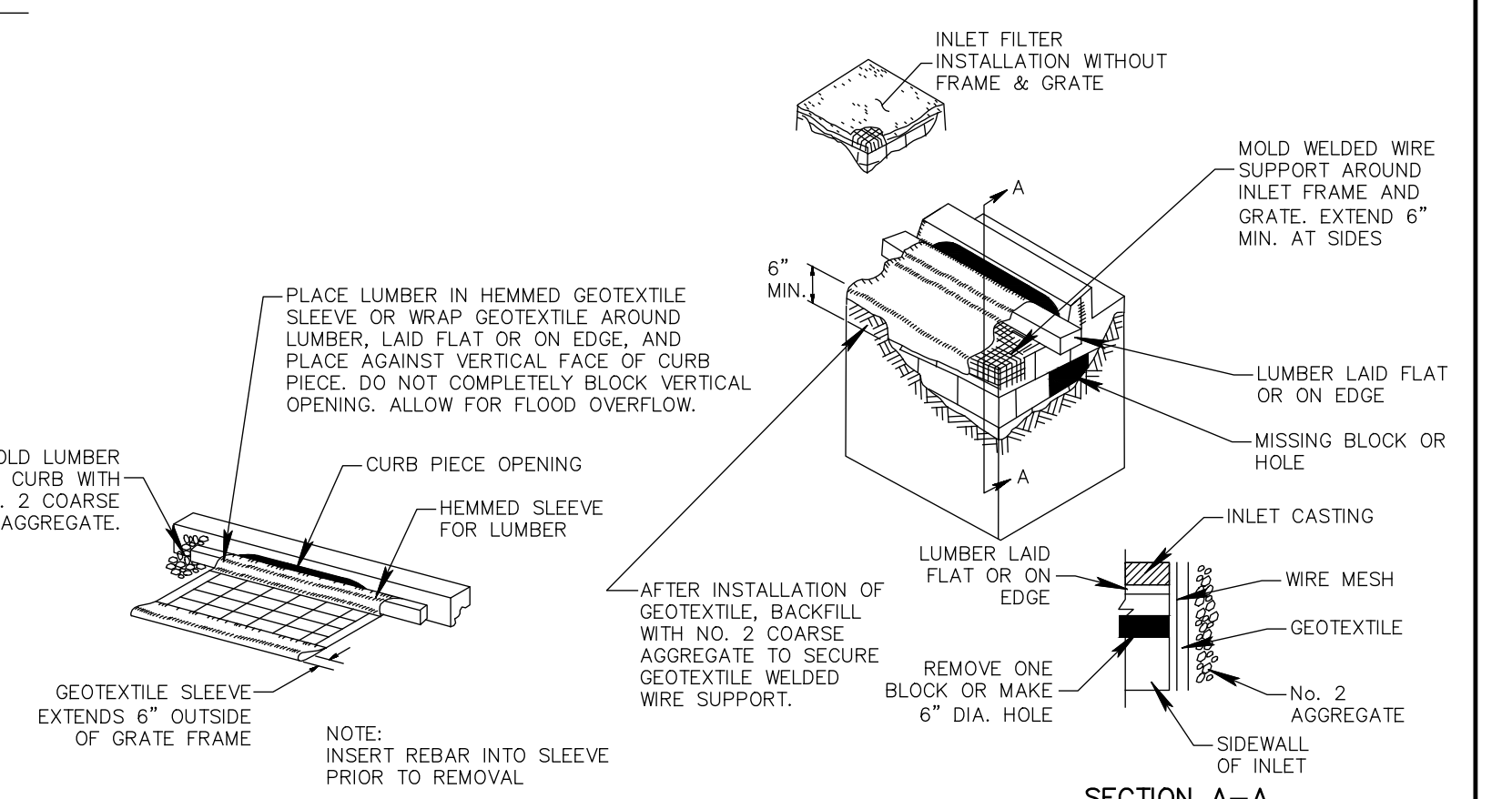
BLOCK 23, LOTS 7.02 & 10

BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY
(City Tax Map Sheet No. 3)

Scope Engineering inc.

Consulting Engineers
CERTIFICATE No. 24GA28103200
P.O. BOX 899
FORKED RIVER, NJ 08731
PHONE: 609-971-0700
FAX: 609-971-0772

- REQUIREMENTS FOR SILT FENCE**
1. FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND (FIG. 23-2). POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
 2. "SUPER" SILT FENCE - A METAL FENCE WITH 6 INCH OR SMALLER MESH OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC. POSTS MAY BE SPACED LESS THAN 8 FEET ON CENTER AND MAY BE CONSTRUCTED OF HEAVY WOOD OR METAL AS NEEDED TO WITHSTAND HEAVY SEDIMENT LOADING. THIS PRACTICE IS APPROPRIATE WHERE SPACING BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC IS EXPECTED. "SUPER" SILT FENCE IS NOT TO BE USED IN PLACE OF PROPERLY DESIGNED DIVERSIONS (PG. 15-1) WHICH MAY BE NEEDED TO CONTROL SURFACE RUNOFF RATES AND VELOCITIES.
 3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.



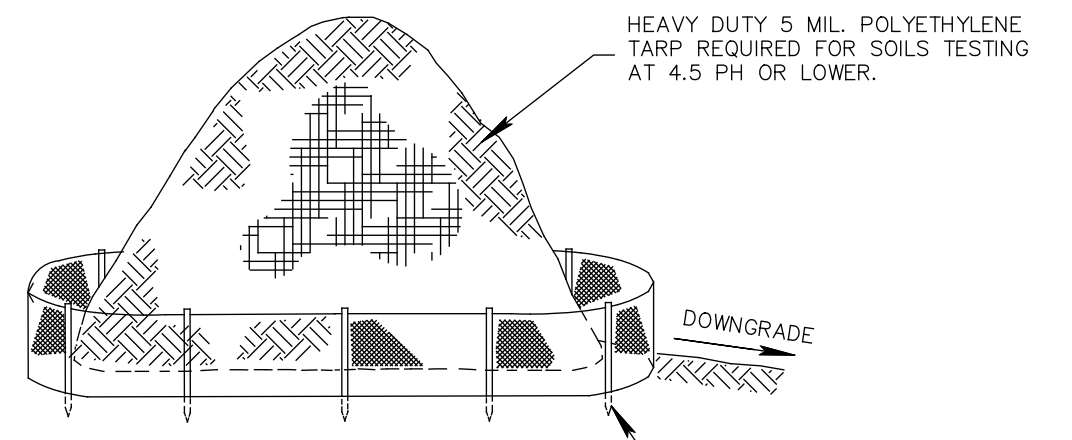
TYPE 1 INLET FILTER DETAIL

N.T.S.

1. CONTRACTOR TO CLEAN INLET FILTER AFTER STORM EVENTS.
2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

STANDARD FOR STORM INLET PROTECTION

- THE FOLLOWING APPLIES TO ALL METHODS OF STORM SEWER INLET PROTECTION:
1. MUST SLOW THE STORM WATER, PROVIDE THE COARSE SEDIMENT PARTICLES A CHANCE TO SETTLE, AND PROVIDE AN AREA TO RETAIN THE PARTICLES THAT HAVE SETTLED.
 2. IN ALL CASES, INLET PROTECTION SHOULD NOT COMPLETELY CLOSE OFF THE INLET. PROVISION MUST BE MADE TO ALLOW STORMWATER TO OVERFLOW OR BYPASS FILTER.
 3. THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
 4. OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARD THE INLET HAS BEEN STABILIZED.



SOIL STOCKPILE

N.T.S.

ADDITIONAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE PROPERTY OWNERS SHALL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF OCCUPANCY ARE ISSUED.
2. THE SOIL EROSION SEDIMENT CONTROL INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ROADWAYS CLEAN AT ALL TIME. ANY SEDIMENT SPILLED OR TRACKED ON THE ROADWAY WILL BE CLEANED UP IMMEDIATELY, OR AT A MINIMUM, BY THE END OF EACH WORK DAY.
4. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON INDIVIDUAL SITES SHALL APPLY TO ANY SUBSEQUENT OWNER.

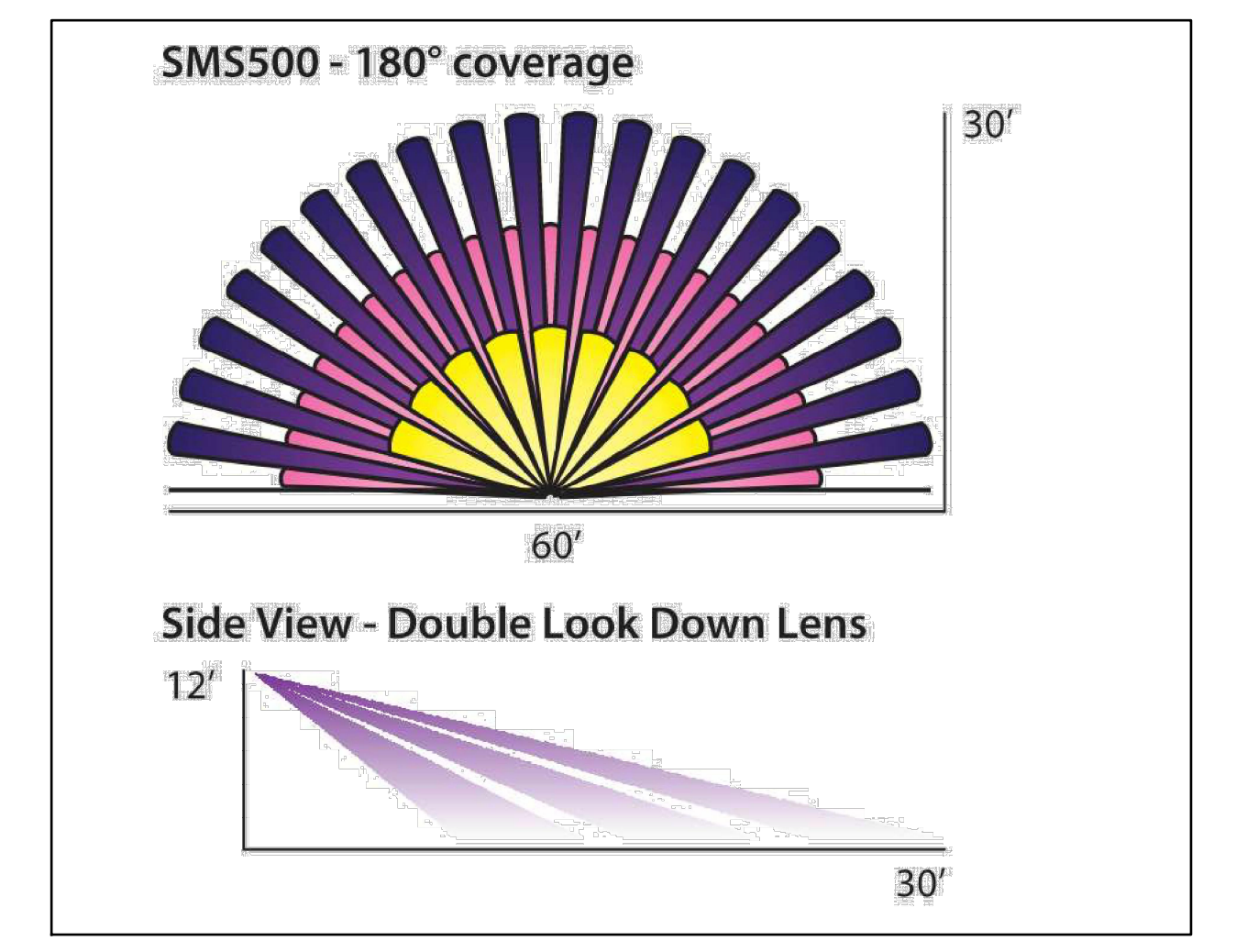
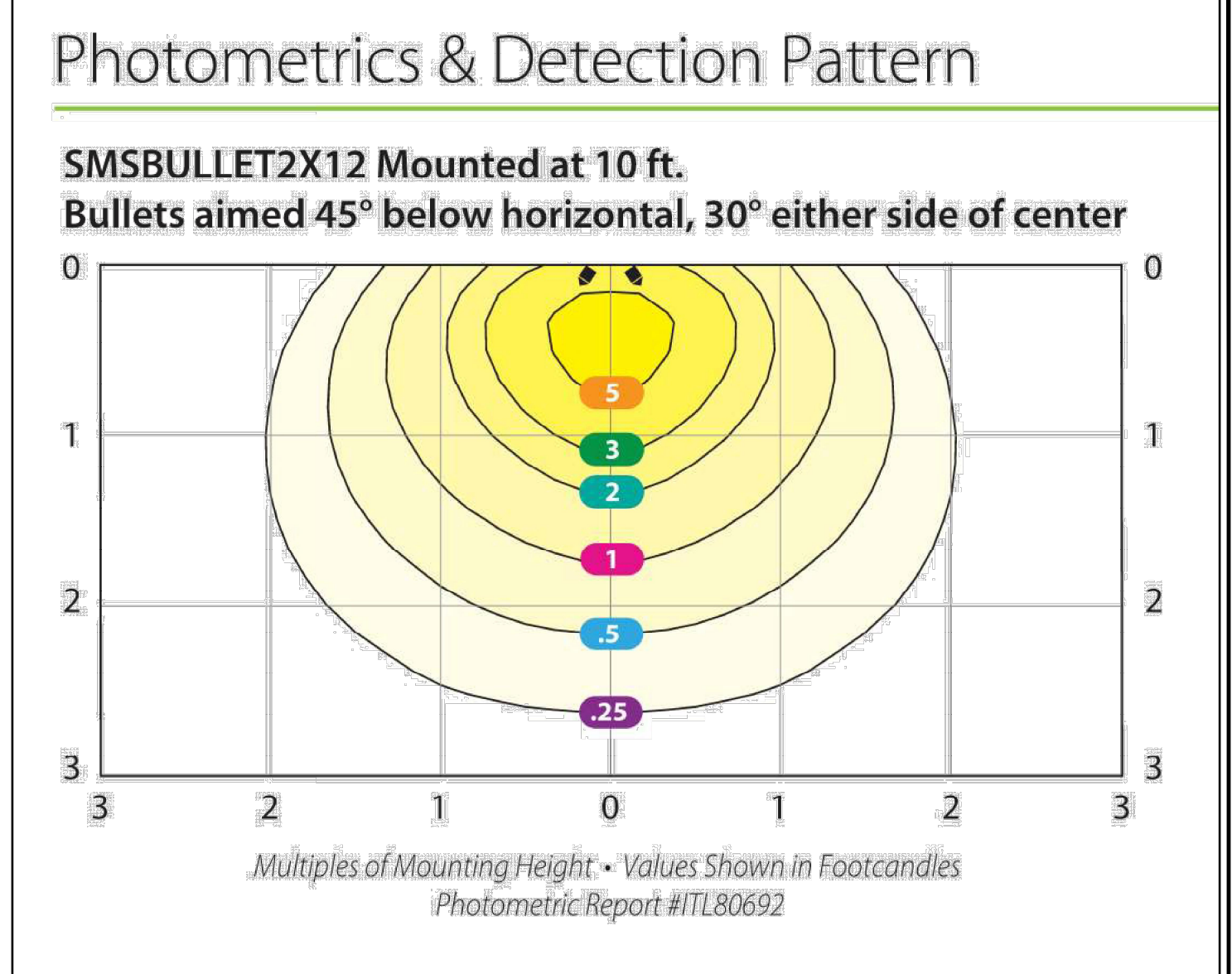
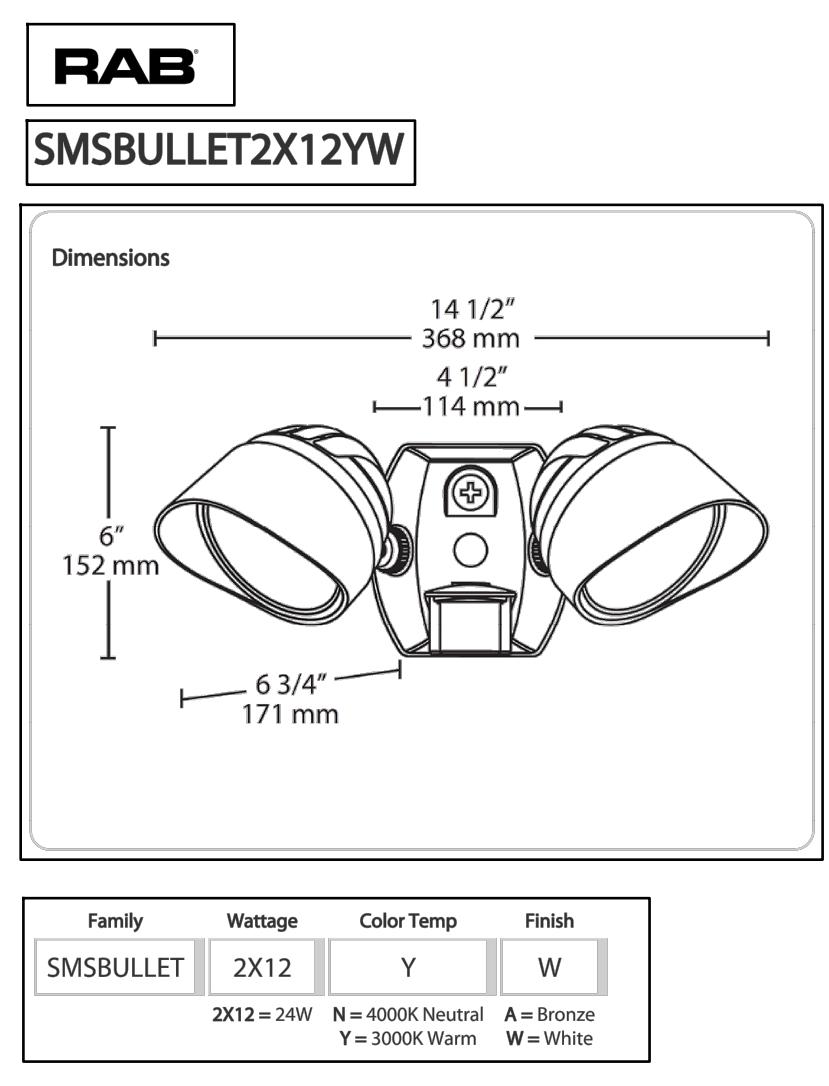
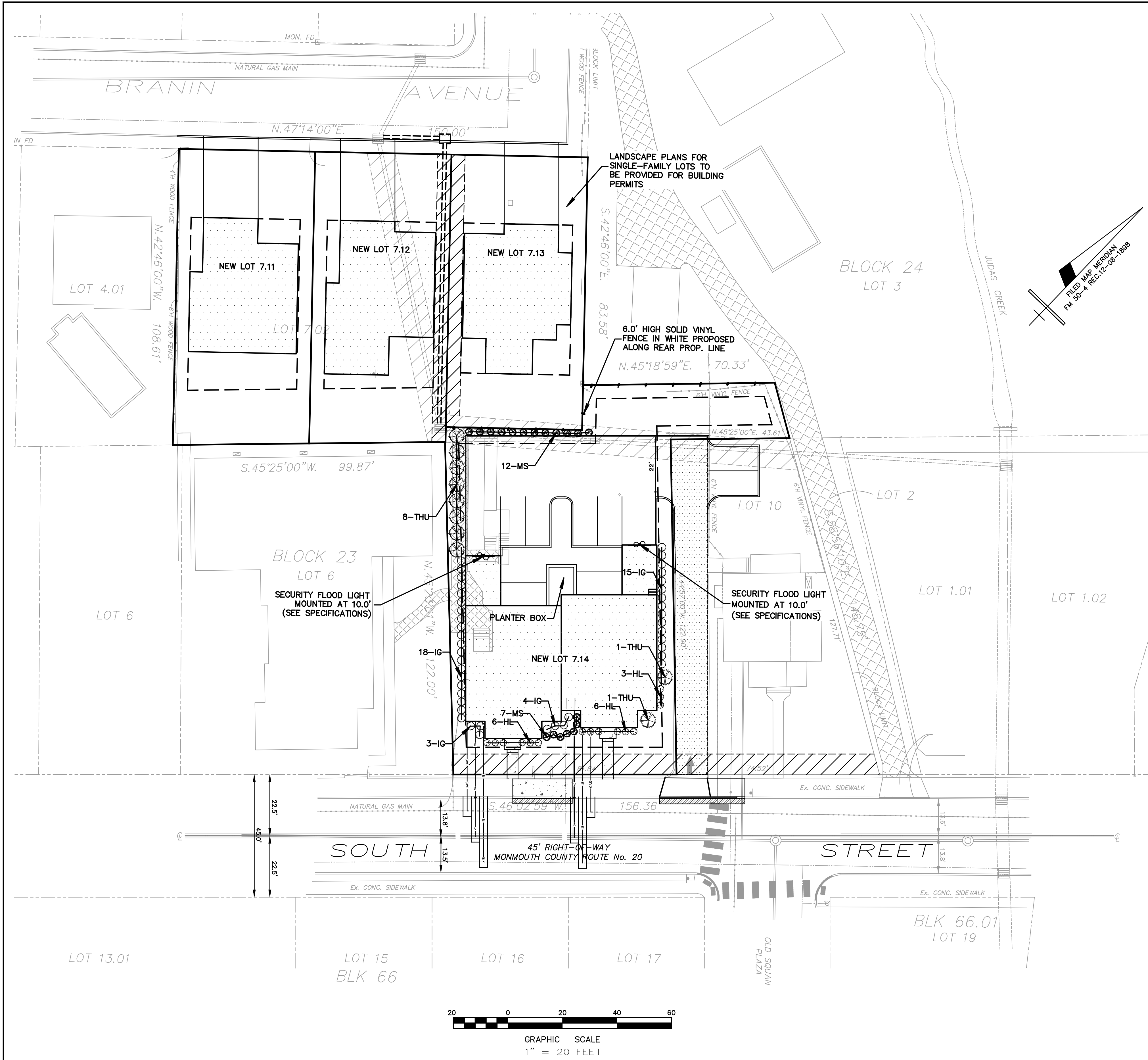
No.	DATE	REVISION	BY	CHK
1	4/11/22	PER INITIAL APPLICATION REVIEW LETTER DATED 01/24/2022	RAM	MRM

SCALE: AS SHOWN
DATE: 12/06/21
DRAWN BY: R.A.M.
CHECKED BY: M.R.M.
SHEET NO. 8 OF 8
PROJECT NUMBER 814-13

SOIL EROSION SEDIMENT CONTROL DETAILS

MATTHEW R. MARTIN, P.E.
PROFESSIONAL ENGINEER
N.J. Lic No. 04416500

12/06/21



PLANTING SCHEDULE

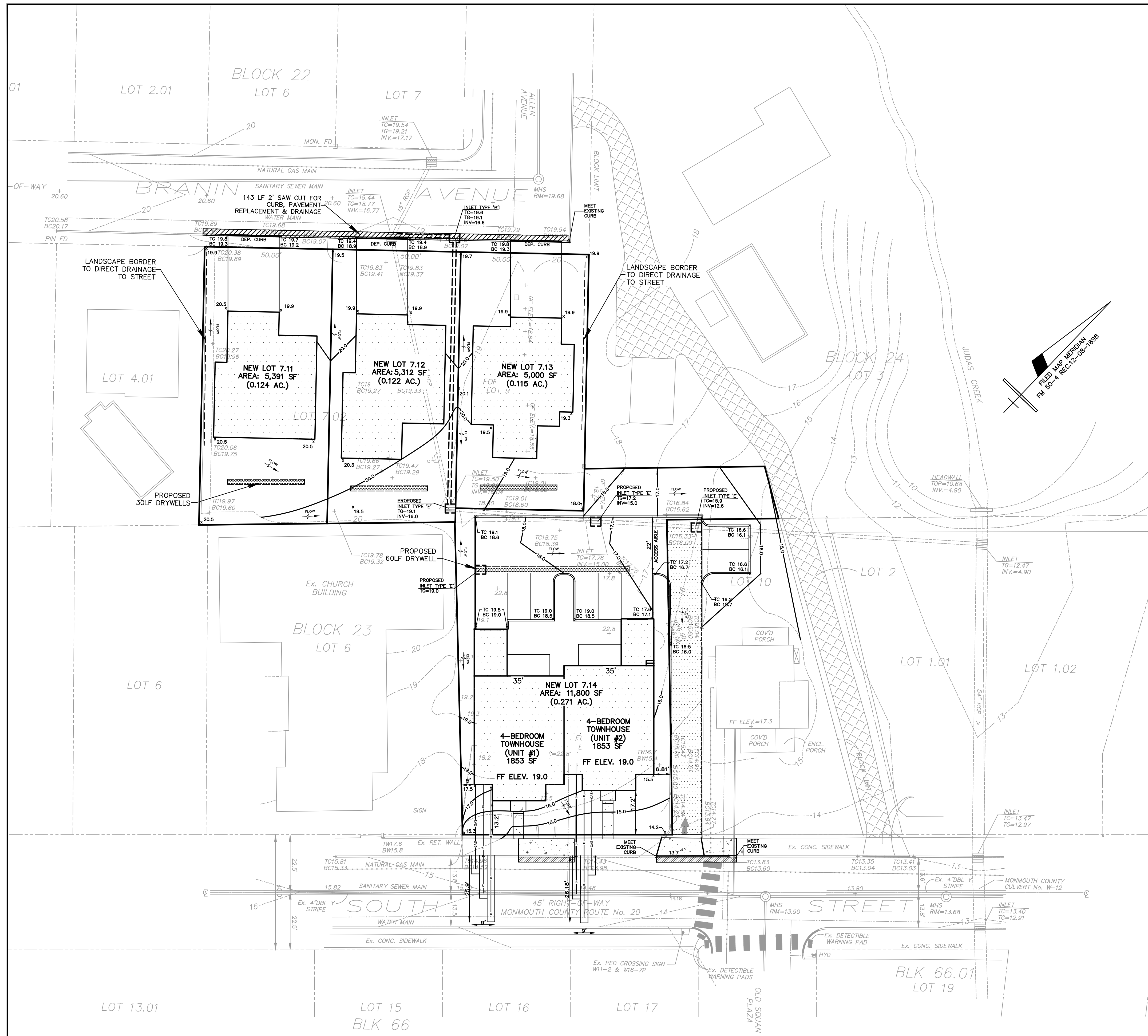
BOTANICAL/COMMON NAME	ABBREVIATION	SIZE	QTY.
THUJ OCCIDENTALIS 'GREEN GIANT' GREEN GIANT ARBORVITAE	THU	6'-7'	10
ILEX GALABRA 'SHAMROCK' INKBERRY	IG	2.5'-3' HT	40
MISCANTHUS SINESIS 'MORNING LIGHT' EULALIA GRASS	MS	3 GAL	19
HYDRANGEA PANICULATA 'LITTLE LIME' LITTLE HYDRANGEA LIME	HL	3 GAL	15

LIGHTING & LANDSCAPE EXHIBIT FOR:
BLOCK 23, LOTS 7.02 & 10
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

Scope Engineering inc.
Consulting Engineers
CERTIFICATE No. 24GA28103200
P.O. BOX 899
FORKED RIVER, NJ 08731
PHONE: 609-971-0700
FAX: 609-971-0772

MATTHEW R. MARTIN, P.E.
PROFESSIONAL ENGINEER
N.J. Lic No. 04416500

SCALE: AS SHOWN
DATE: 06/07/2022
DRAWN BY: R.A.M.
CHECKED BY: M.R.M.
SHEET NO. 1 OF 1
PROJECT NUMBER 814-13



REQUIRED STORAGE CALCULATION

PER ORD. NO. 2043-08 § 4(G) - WATER FROM A GUTTER, DOWNSPOUT OR SUMP PUMP MUST BE PIPED DIRECTLY INTO A DRYWELL OR SEEPAGE PIT INSTALLED ON THE LOT; THE DRYWELL OR SEEPAGE PIT SYSTEM SHALL BE DESIGNATED TO CONTAIN STORMWATER RUNOFF FROM ONE INCH OF PRECIPITATION IN A TWENTY-FOUR-HOUR PERIOD.

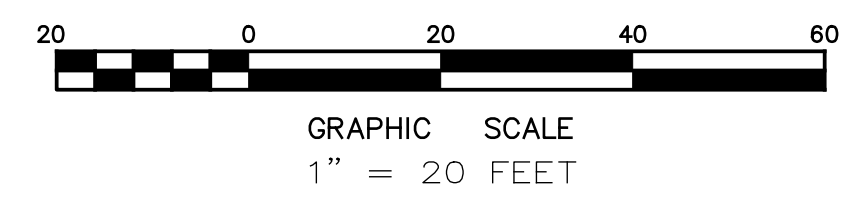
DRYWELL STORAGE
 24" HDPE PIPE = (3.14 X 2 X 2)/4 = 3.14 CF/FT
 3' X 3' STONE FILL = ((3 X 3) - 3.14) 0.35 = 2.05 CF/FT
 3.14 + 2.05 = 5.2 CF/FT

LOT 7.11 SINGLE-FAMILY RESIDENTIAL
 PROPOSED MAX BUILDING FOOTPRINT = 1,617 SF
 1,617 SF(1 INCH/12 INCH/FT) = 134.8 CUBIC FEET OF STORAGE REQUIRED
 5.2 CF/FT X 30 LF = 156 CF OF STORAGE PROVIDED

LOT 7.12 SINGLE-FAMILY RESIDENTIAL
 PROPOSED MAX BUILDING FOOTPRINT = 1,593 SF
 1,593 SF(1 INCH/12 INCH/FT) = 132.7 CUBIC FEET OF STORAGE REQUIRED
 5.2 CF/FT X 26 LF = 156 CF OF STORAGE PROVIDED

LOT 7.13 SINGLE-FAMILY RESIDENTIAL
 PROPOSED MAX BUILDING FOOTPRINT = 1,500 SF
 1,500 SF(1 INCH/12 INCH/FT) = 125.0 CUBIC FEET OF STORAGE REQUIRED
 5.2 CF/FT X 30 LF = 156 CF OF STORAGE PROVIDED

LOT 7.14 TOWNHOUSE DUPLEX RESIDENTIAL
 PROPOSED BUILDING FOOTPRINT = 3,706 SF
 3,706 SF(1 INCH/12 INCH/FT) = 308.8 CUBIC FEET OF STORAGE REQUIRED
 5.2 CF/FT X 60 LF = 312 CF OF STORAGE PROVIDED



DRAINAGE EXHIBIT FOR:
BLOCK 23, LOTS 7.02 & 10
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

Scope Engineering inc.
 Consulting Engineers
 CERTIFICATE No. 24GA28103200
 P.O. BOX 899
 FORKED RIVER, NJ 08731
 PHONE: 609-971-0700
 FAX: 609-971-0772

MATTHEW R. MARTIN, P.E. DATE _____
 PROFESSIONAL ENGINEER
 N.J. Lic No. 04416500 PROJECT NUMBER 814-13



39 SOUTH STREET
BLOCK 23, LOTS 7.02 & 10

BOROUGH OF MANASQUAN
 MONMOUTH COUNTY , NEW JERSEY

PREPARED BY:
Scope Engineering inc.
 Consulting Engineers

CERTIFICATE No. 24GA28103200

P.O. BOX 899
 FORKED RIVER, NJ 08731
 PHONE: 609-971-0700
 FAX: 609-971-0772

DATE: 6/21/22
 PROJECT #814-13

Scope Engineering, Inc.

P.O Box 899, Forked River, NJ 08731

June 13, 2022

814-13

Barbara Ilaria, Board Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

RE: Boro File No. MSPB-R1870
Use Variance/Major Subdivision/Site Plan
Block 23, Lots 7.02 & 10
39 South Street
B-1 Business Zone
Borough of Manasquan, Monmouth Co., NJ

Ms. Ilaria,

In response to the engineer's review letter prepared by Boro Engineering dated May 23, 2022, we offer the following:

1. Drainage Exhibit prepared by Scope Engineering, Inc. dated 6/7/2022;
2. Landscape & Lighting Exhibit prepared by Scope Engineering, Inc. dated 6/7/2022; and
3. Responses corresponding to items within the engineer's review letter below.

Responses corresponding to items within the engineer's review letter are as follows:

Zoning

5. A cross access easement is proposed for the shared driveway between the proposed townhouses and the existing dwelling. The draft deed and deed description for this area must be submitted for review.

Will comply.

6. The rear area of the townhouse lot indicates a cabana and pool area but only a general concept layout is proposed. As a variance for lot coverage is already being requested for this lot, a specific design and dimensions must be provided along with coverage calculations if it is to be considered.

The applicant will eliminate the proposed pool and cabana area.

7. The applicant should indicate if the third floor of the townhouses will be utilized as an attic space or half-story.

Third floor will be attic space.

8. A minimum of 80 square feet storage space is required for each of the proposed townhouses. The applicant should explain how this requirement will be met in the proposed garage or another area.

Scope Engineering Inc.*Response Letter**39 South Street, Borough of Manasquan*

6/13/2022

Page 2 of 5

A shed (minimum 160 SF) will be provided at rear of lot where pool / cabana area was shown previously.

9. Full layouts for the three proposed residential dwellings on Branin Avenue have not been provided. The applicant should be aware that all of the bulk requirements must be met or a separate application to the Board will be required for each lot.

The single-family residential dwellings will comply with bulk standard with issuance of standard building permit or separate application will be made.

Drainage

10. There will be a total reduction in impervious coverage for the development and as such it does not meet the warrants to be considered a major development for the NJDEP stormwater requirements.

No comment required.

11. The application proposes to relocate the existing Borough drainage line located within an existing easement on the subject property and add a drainage inlet on Branin Avenue within the Borough right-of-way. Although the drainage layout appears acceptable, approval from the Borough Council will be required to vacate the existing easement, create the new easement and install the new drainage improvements. The extent of roadway repair to install the new drainage must also be shown on the plan and all necessary construction details provided.

Additional details will be provided to the satisfaction of the Borough.

12. Grading plans and offsite elevations for the three proposed residential lots must be shown to demonstrate there will be no adverse stormwater impacts to the surrounding properties.

Please refer to Drainage Exhibit prepared by Scope Engineering, Inc. dated 6/8/2022.

13. The applicant should be aware that drainage recharge systems will be required for each of the new proposed residential dwellings.

Please refer to Drainage Exhibit prepared by Scope Engineering, Inc. dated 6/8/2022.

14. Roof recharge systems for the townhomes are also required. I suggest that roof drains from the proposed townhouses be connected to the existing drainage system on-site with perforated pipe meet this requirement and to reduce the runoff directed to South Street.

Please refer to Drainage Exhibit prepared by Scope Engineering, Inc. dated 6/8/2022.

15. I suggest the townhouse parking area be regraded to direct runoff to the existing grate to the greatest practical. An elevation of the reset grate for this inlet should be provided and it should be labeled as type 'E' inlet with a bicycle safe grate.

Please refer to Drainage Exhibit prepared by Scope Engineering, Inc. dated 6/8/2022.

Scope Engineering Inc.*Response Letter**39 South Street, Borough of Manasquan**6/13/2022**Page 3 of 5***Traffic**

16. The proposed access aisle for the shared driveway for Lots 7.14 and 10 requires a variance for width. The 12 feet wide driveway does not allow for two-way traffic and there does not appear to be an opportunity to widen it or provide a pull off within the current layout. I suggest that at a minimum, signage be provided on the drive aisle indicating that entering traffic has the right-of-way if this is to be considered by the Board.

Signage will be provided where townhome parking connects to the driveway indicating “Yield to Entering Vehicles.”

17. Approval from the County will be required for the future road widening easement versus a full right-of-way dedication.

An application to Monmouth County has been submitted and approval will be provided once obtained.

18. I suggest that the existing driveway be provided with a pavement overlay in conjunction with the new parking area.

Will comply.**Landscaping/Lighting**

19. Any Site lighting for the townhomes or parking area, building mounted or freestanding, must be shown on the plans, with lighting levels and details provided.

Please refer to Landscape & Lighting Exhibit prepared by Scope Engineering, Inc. dated 6/7/2022.

20. A landscaping plan is provided for the townhouse lot. Landscaping plans for the front yards of the single family lots will be required as part of building permit submission.

Applicant to provide for building permits.

21. I suggest a buffer fence and planting be provided between the rear parking area and proposed Lot 7.13.

Please refer to Landscape & Lighting Exhibit prepared by Scope Engineering, Inc. dated 6/7/2022.

22. It does not appear that any existing trees on the property will be removed as part of the application.

Miscellaneous

23. The proposed method of trash collection should be described as a trash area is not proposed for the townhomes.

Trash cans to be placed at curb for municipal pickup on designated days.

Scope Engineering Inc.*Response Letter**39 South Street, Borough of Manasquan**6/13/2022**Page 4 of 5*

24. The interior wall between townhomes must be soundproofed to meet a Sound Transmission Class (STC) rating of 50 or higher.

Will comply.

25. Detectable warning surfaces must be provided for the reconstructed sidewalk at the crosswalk.

Will comply.

26. If housewalk is proposed from the rear parking area to the decks it must be shown on the plan and included in the coverage calculations.

Stepping stones will be provided.

27. As the subdivision portion of the application is a major subdivision, the subdivision must be filed by map. There are a number of items which must be added to the plan, including the property owners list, benchmark, centerline and right-of-way half width for Branin Avenue, and certifications for the plan to meet the requirements of the New Jersey Title Recordation Act (Map Filing Law). All necessary items must be added to the plan prior to submission for the final plat.

Will comply.

28. Metes and bounds of all proposed easements must be shown on the subdivision plan.

Will comply.

29. All construction details for proposed improvements must be provided including borough roadway and drainage and all on-site improvements.

Will comply.

30. Any new utilities must be located underground if possible. Separate water and sewer connections are proposed but pavement repair limits in the roadway should be shown on the plan for the utility connection and curb and sidewalk replacement.

Will comply.

31. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
- a. Monmouth County Planning Board
 - b. Freehold Soil Conservation District

Applications to Monmouth County and FSCD have been submitted. Approval will be provided once obtained.

Scope Engineering Inc.

Response Letter
39 South Street, Borough of Manasquan

6/13/2022
Page 5 of 5

Feel free to contact this office directly if you have any questions or you need additional information regarding this matter.

Sincerely,

SCOPE ENGINEERING, INC.

Rebecca A. Martin, EIT

rmartin@scopeengineering.com

cc: Matt Martin, PE mrm@scopeengineering.com

Harvey York, harvey.york@nyplaw.com

Art Corsini, acorsini@fieldstoneassoc.com

Chris Cooper, chris@njkitchenman.com

Ken Pizzo JR, kspjr@pizzoandpizzo.com

May 23, 2022

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1870
Use Variance/Major Subdivision/Site Plan – Ocean Bay Developers LLC
Block 23, Lots 7.02 & 10
39 South Street
B-1 - Business Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Conceptual Architectural Floor Plans and Elevations prepared by VLBJR+, dated December 10, 2021.
2. Preliminary and Final Site Plan prepared by Matthew Martin, PE, of Scope Engineering, Inc., dated April 11, 2022.
3. Preliminary Plat – Major Subdivision prepared by Andrew Stockton, PE, PLS of Scope Engineering, Inc., dated December 6, 2021, last revised April 11, 2022.
4. Stormwater Management Report prepared by Matthew Martin, PE, of Scope Engineering, Inc., dated December 6, 2021, last revised March 21, 2022.
5. Traffic Engineering Response prepared by David Shropshire, PE, PP, of Shropshire Associates, LLC, dated April 26, 2022.

The property is located in the B-1 Business Zone with frontage on South Street and Branin Avenue. With this application, the applicant proposes to subdivide the property to create three residential lots fronting on Branin Avenue and a site plan for two, four bedroom townhouses fronting on South Street which will share the existing driveway access with existing Lot 10. A paved parking lot and associated site improvements for the townhomes are also proposed. The application is deemed complete on May 23, 2022.

The following are our comments and recommendations regarding this application:

Zoning

1. The property is located in the B-1 - Business Zone.

Re: Boro File No. MSPB-R1870
Use Var./Subdivision/Site Plan – Ocean Bay Dev.
Block 23, Lots 7.02 & 10

May 23, 2022
Sheet 2

2. This application requests three separate approvals from the Board. A major subdivision for the creation of the proposed lots (three residential fronting on Branin Avenue, the townhouse lot, and the existing dwelling Lot 10), a use variance for all the proposed residential lots as the property is in a business zone where single family residential and multi-family development is not permitted, and a site plan for the proposed townhouse development.
3. The following use ('d') variance is required as part of this application:
 - a. Various business uses are permitted in the B-1 Zone, whereas single family residential and multi-family/townhouse uses are proposed.
4. The following bulk ('c') variances are required as part of this application:

Proposed Lot 7.14

 - a. A maximum lot coverage of 60% is permitted, whereas a lot coverage of 75% is proposed.
 - b. A minimum driveway aisle width of 24 feet is required, whereas an aisle 12 feet wide is proposed.
 - c. A minimum parking stall size of 9' x 19' is required, whereas stalls of 9' x 18' are proposed.
5. A cross access easement is proposed for the shared driveway between the proposed townhouses and the existing dwelling. The draft deed and deed description for this area must be submitted for review.
6. The rear area of the townhouse lot indicates a cabana and pool area but only a general concept layout is proposed. As a variance for lot coverage is already being requested for this lot, a specific design and dimensions must be provided along with coverage calculations if it is to be considered.
7. The applicant should indicate if the third floor of the townhouses will be utilized as an attic space or half-story.
8. A minimum of 80 square feet storage space is required for each of the proposed townhouses. The applicant should explain how this requirement will be met in the proposed garage or another area.
9. Full layouts for the three proposed residential dwellings on Branin Avenue have not been provided. The applicant should be aware that all of the bulk requirements must be met or a separate application to the Board will be required for each lot.

Re: Boro File No. MSPB-R1870
Use Var./Subdivision/Site Plan – Ocean Bay Dev.
Block 23, Lots 7.02 & 10

May 23, 2022
Sheet 3

Drainage

10. There will be a total reduction in impervious coverage for the development and as such it does not meet the warrants to be considered a major development for the NJDEP stormwater requirements.
11. The application proposes to relocate the existing Borough drainage line located within an existing easement on the subject property and add a drainage inlet on Branin Avenue within the Borough right-of-way. Although the drainage layout appears acceptable, approval from the Borough Council will be required to vacate the existing easement, create the new easement and install the new drainage improvements. The extent of roadway repair to install the new drainage must also be shown on the plan and all necessary construction details provided.
12. Grading plans and offsite elevations for the three proposed residential lots must be shown to demonstrate there will be no adverse stormwater impacts to the surrounding properties.
13. The applicant should be aware that drainage recharge systems will be required for each of the new proposed residential dwellings.
14. Roof recharge systems for the townhomes are also required. I suggest that roof drains from the proposed townhouses be connected to the existing drainage system on-site with perforated pipe meet this requirement and to reduce the runoff directed to South Street.
15. I suggest the townhouse parking area be regraded to direct runoff to the existing grate to the greatest extent practical. An elevation of the reset grate for this inlet should be provided and it should be labeled as a type 'E' inlet with a bicycle safe grate.

Traffic

16. The proposed access aisle for the shared driveway for Lots 7.14 and 10 requires a variance for width. The 12 feet wide driveway does not allow for two-way traffic and there does not appear to be an opportunity to widen it or provide a pull off with the current layout. I suggest that at a minimum, signage be provided on the drive aisle indicating that entering traffic has the right-of-way if this is to be considered by the Board.
17. Approval from the County will be required for the future road widening easement versus a full right-of-way dedication.
18. I suggest that the existing driveway be provided with a pavement overlay in conjunction with the new parking area.

Landscaping/Lighting

19. Any site lighting for the townhomes or parking area, building mounted or freestanding, must be shown on the plans, with lighting levels and details provided.

Re: Boro File No. MSPB-R1870
Use Var./Subdivision/Site Plan – Ocean Bay Dev.
Block 23, Lots 7.02 & 10

May 23, 2022
Sheet 4

20. A landscaping plan is provided for the townhouse lot. Landscaping plans for the front yards of the single family lots will be required as a part of building permit submission.
21. I suggest a buffer fence and planting be provided between the rear parking area and proposed Lot 7.13.
22. It does not appear that any existing trees on the property will be removed as part of the application.

Miscellaneous

23. The proposed method of trash collection should be described as a trash area is not proposed for the townhomes.
24. The interior wall between the townhomes must be soundproofed to meet a Sound Transmission Class (STC) rating of 50 or higher.
25. Detectable warning surfaces must be provided for the reconstructed sidewalk at the crosswalk.
26. If housewalk is proposed from the rear parking area to the decks it must be shown on the plan and included in the coverage calculations.
27. As the subdivision portion of the application is a major subdivision, the subdivision must be filed by map. There are a number of items which must be added to the plan, including the property owners list, benchmark, centerline and right-of-way half width for Branin Avenue, and certifications for the plan to meet the requirements of the New Jersey Title Recordation Act (Map Filing Law). All necessary items must be added to the plan prior to submission for signing of the final plat.
28. Metes and bounds of all proposed easements must be shown on the subdivision plan.
29. All construction details for proposed improvements must be provided, including borough roadway and drainage and all on-site improvements.
30. Any new utilities must be located underground if possible. Separate water and sewer connections are proposed but pavement repair limits in the roadway should be shown on the plan for the utility connection and curb and sidewalk replacement.
31. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board
 - b. Freehold Soil Conservation District



Re: Boro File No. MSPB-R1870
Use Var./Subdivision/Site Plan – Ocean Bay Dev.
Block 23, Lots 7.02 & 10

May 23, 2022
Sheet 5

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "Al Yodakis", written over a horizontal line.

ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jj

cc: George McGill, esq., Planning Board Attorney
Matthew Martin, PE
Scope Engineering, Inc., PO Box 899, Forked River, NJ 08731
Ocean Bay Developers, LLC
1065 Route 22 W, Bridgewater, NJ 08807